



Planning Committee Barnhill and Queens Park Design Guide appendices

Wednesday 16 January 2013 at 7.00 pm
Committee Rooms 1, 2 and 3, Brent Town Hall, Forty
Lane, Wembley, HA9 9HD

Membership:

Members

Councillors:

Ketan Sheth (Chair)
Daly (Vice-Chair)
Aden
Baker
Cummins
Hashmi
John
CJ Patel
RS Patel
Krupa Sheth
Singh

first alternates

Councillors:

Thomas
Long
J Moher
Kansagra
Ms Shaw
Cheese
Van Kalwala
Hopkins
Gladbaum
Oladapo
Hossain

second alternates

Councillors:

R Moher
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HB Patel
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Powney
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For electronic copies of minutes, reports and agendas, and to be alerted when the minutes of this meeting have been published visit:

www.brent.gov.uk/committees

The press and public are welcome to attend this meeting

Agenda

Introductions, if appropriate.

Apologies for absence and clarification of alternate members

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Please remember to **SWITCH OFF** your mobile phone during the meeting.

- The meeting room is accessible by lift and seats will be provided for members of the public.
- Toilets are available on the second floor.
- Catering facilities can be found on the first floor near The Paul Daisley Hall.
- A public telephone is located in the foyer on the ground floor, opposite the Porters' Lodge

Barn Hill Conservation Area

Design Guide





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1.0 Introduction

Conservation Areas are places of special architectural and historic character with a collective quality worth preserving and enhancing. The strength of their character is dependent on the way the individual buildings and gardens compliment each other. The Local Planning Authority is responsible for designating Conservation Areas with the law set down in the Planning (Listed Buildings and Conservation Areas) Act 1990. This enables the Council, with the aid of localised design criteria and additional controls over **Permitted Development**, to influence the type of physical changes that would otherwise be harmful to the area.

The Borough Council with the support of English Heritage designated Barn Hill a Conservation Area in March 1990 in recognition of its special architectural and historic character. In 1995 the Council, with the support of residents, applied extra planning controls known as an Article 4(1) Direction to part of the Barn Hill Conservation Area. These additional controls are used to help the Council guide the way in which repairs and improvements are carried out.

This guide provides information on Barn Hill's specific planning controls, as well as advice on ways to repair and improve your home so that it helps preserve and enhance the character and appearance of the area. You may also require Building Regulations approval for alterations to your property, further guidance is set out in Section 6.4 of this Design Guide.



1.1 What makes Barn Hill special?

There are historic references to the Barn Hill area from as early as 1547, at which time the area was known as Bardonhill. However, the most significant period for the area was in the late 18th century when Barn Hill formed part of the Uxendon Estate owned by the Page family. The family employed Humphry Repton, a celebrated landscape designer of the time, to remodel the landscape of the Barn Hill area. Prior to the purchase of the area for housing development in 1926, the hill had been part of a golf course that benefited from the features that Repton had established.

Barn Hill benefits from an attractive hill-side setting overlooking Wembley Stadium, Wembley town centre and Harrow on the Hill further in the distance. This enviable position coupled with the architectural quality of the, generally, mock-Tudor styled houses establishes the area's very special character. The relationship between the layout of the roads and the positioning of the houses sets the area apart from other residential areas. Houses at crossroads are designed and detailed to be part of a wider streetscape with decorative chimneys and elevations of individual houses contributing to the setting of the junctions.



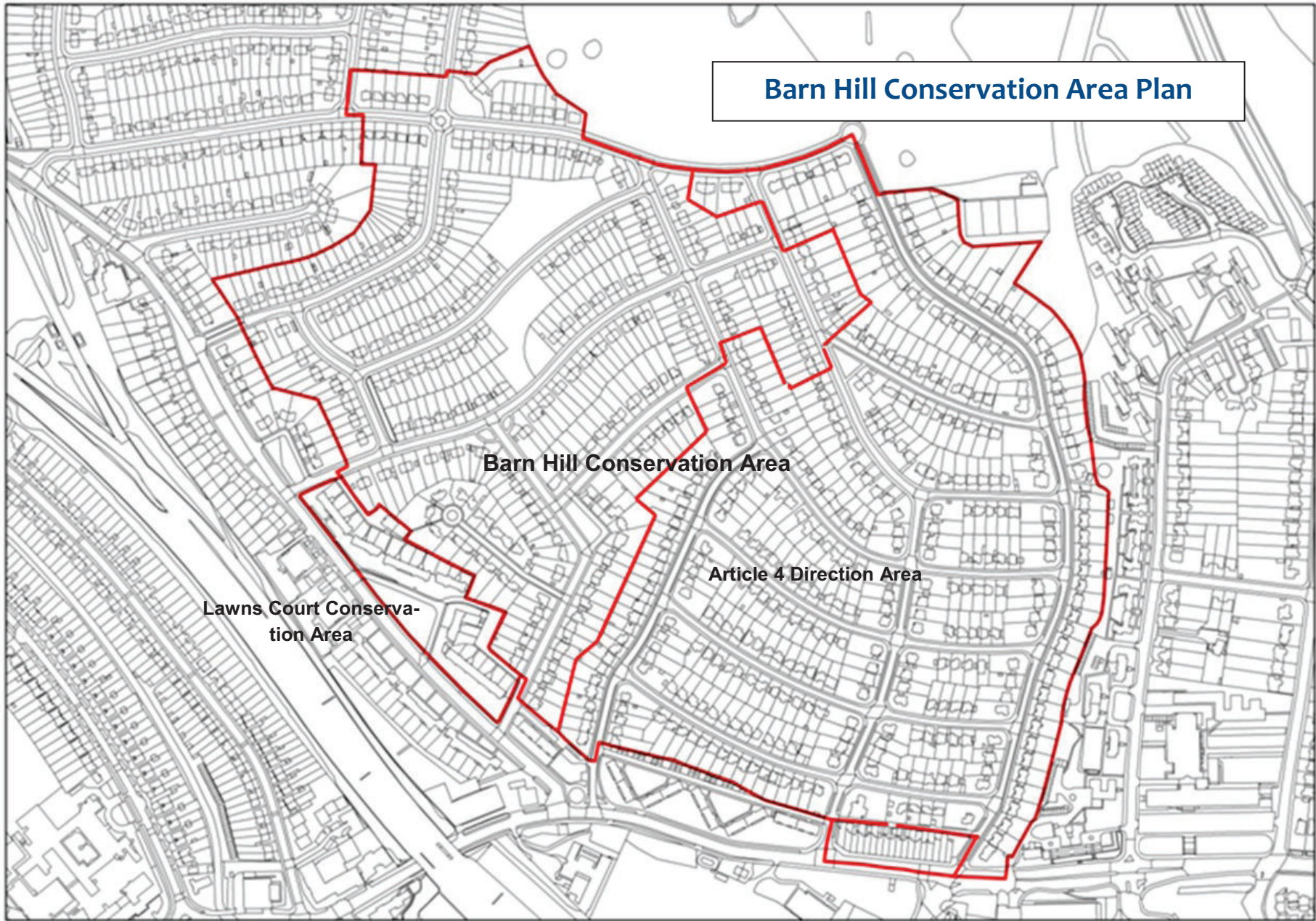
1.2 Who is this guide for?

This guide is for residents, consultants and builders working in the Barn Hill Conservation Area. It contains practical advice and information to help you make repairs and improvements to your home that will maintain the character of the area.

Alterations that are out of keeping with the original appearance of the houses and streets can spoil the quality of the environment and reduce the desirability of the area. The Council can do much to lead in the protection of the Conservation Area, but residents need to care for their own home with the attention to detail shown by the original designers. We share a duty to protect the special character of the area, not only for today's residents and visitors, but also for those of tomorrow.

As a resident, it is in your interest to keep the special character of your home and area. Usually, houses in well-maintained Conservation Areas have a greater value than those outside. There are many Conservation Areas throughout the country all with different characters and building types, but it is only those areas in which the residents are actively involved in conservation that successfully retain their character.





1.3 Is my property in the Conservation Area?

Properties in the Conservation Area with an Article 4 Direction:

Barn Hill: 1-99, 2-46, 46a, b, c, 48-88, & Barn House

Barn Rise: 3-53, 2-50, 62-66

Barn Way: 1-35, 2-48

Corringham Road: 1-53, 2-42

Eversley Avenue: 1-33, 2-34

Grendon Gardens: 1-7, 15-45, 2-10, 12a, 12-34

Midholm: 1-11, 15-23, 2-26

The Crossways: 1-29, 2-32

West Hill: 106

Wickliffe Gardens: 1-9, 2-12

Properties in the Conservation Area without an Article 4 Direction:

Barn Rise: 55-73, 52-60

Barn Way: 37-69, 50-76

Basing Hill: 1-55, 2-70

Beverley Gardens: 1-55, 2-58

Brampton Grove: 1-37, 2-28, 46-64

Carlton Road: 1-12

East Hill: 1-31, 2-18

Forty Avenue: 1-18 (Grand Parade)

Mayfields: 1-41, 2-40

Mayfields Close: 1-16 (consecutive, inc)

Midholm: 28-32

West Hill: 43-71, 66-104

1.4 What is an Article 4 Direction?

An Article 4 Direction is a special control which gives extra protection to a Conservation Area by removing some of the owner's Permitted Development rights. This enables the Council to prevent insensitive development. This does not mean that an owner cannot make any alterations to their home, but it does give the Council more control over the design and specification of proposed alterations to houses and gardens. This helps ensure the character of the area is preserved or enhanced and that the quality of the environment is sustained.



In areas with an Article 4 Direction, owners may have to apply for planning permission for proposed building work that would not normally require planning permission. The extra effort that owners have to make to obtain the appropriate planning permissions is recognised by the Council, so within an Article 4 Direction area the Council does not charge a fee for deciding Planning or Conservation Area Consent applications for work that would otherwise have been Permitted Development.

1.5 Sites of extra control

Below is a list of houses in the Conservation Area that are situated on very important road junctions and because of this, the original architects went to great lengths to ensure that the elevations that faced on to these junctions were of a very high design standard. The decorative chimneys and windows on these important faces should not be covered over with new extensions:

Barn Hill: 3, 9, 11, 17, 19, 25, 27, 33, 35, 39, 41

Barn Rise: 4, 9, 10, 11, 12, 17, 18, 20, 25, 26, 27, 28, 34

Corringham Road: 12, 20

Grendon Gardens: 15

2.0 When do I need for apply for Planning Permission?

2.1 General controls within the conservation area

The Town & Country Planning (General Permitted Development) Order 1995 (as amended) allows owners of houses to carry out certain types of alterations and modest building work to their homes without the need to apply to the Council for planning permission. Permitted Development rights only apply to houses that have not been subdivided. **They do not apply to flats, maisonettes or multiple-occupancy properties where planning permission is required for all external alterations and additions.**

Within a Conservation Area, the type of work allowed under Permitted Development is more limited, and there are greater restrictions over the amount a house can be extended or how much demolition can be carried out without planning permission. All properties located within the Barn Hill Conservation Area require planning permission for the following works:

- Page 8
- To build any extension to the side of your house.
 - Applying stone, artificial stone, pebble dash, render, timber, plastic or tiles to any part of the exterior of your house.



- Build any first floor extension.
- Extending the roof of your house.
- Fitting, altering or replacing external flue, chimney, or soil and vent pipe onto a principle or side elevation that fronts a highway. In other locations, it should not exceed the highest part of the roof by one metre.
- Fixing a satellite dish or aerial on a chimney, wall or roof slope which faces onto and is visible from a road.

Please refer to the councils website for guidance on current Permitted Development allowances.

2.2 Additional controls for properties covered by the Article 4 Direction

In consultation with local residents, the Council applied an **Article 4 Direction** on part of the Barn Hill Conservation Area to further ensure its special character is preserved and enhanced. The additional controls assist in protecting the Barn Hill Conservation Area from insensitive and unsympathetic development by allowing the Council to guide the way in which repairs and improvements are carried out. Properties covered by the Article 4 Direction also require planning permission for the following works:

- Extensions, alterations or improvements to the front or side of your house.
- Erect, demolish or make alteration to any chimney.
- Alter, enlarge or replace any window or door openings that face the street. Be aware that corner plot properties this may affect the side, or rear, of your property.
- Change roof tiles or install rooflights to any roof slope.
- Build, alter or remove gates, fences, walls or other types of boundary to front gardens or any other boundary with the street.
- Painting any part of your house, or any other outbuilding. You may however paint entrance doors and window frames and sills without planning permission. You may also paint existing rendered surfaces with British Standard white or off-white without planning permission.
- Formation, laying out and construction of a means of access to a highway.
- The construction within the curtilage of a dwellinghouse of a hardstanding for vehicles.



3.0 Extending and altering your home

Most houses in Barn Hill are relatively modest in size. This means that, in most cases, nothing other than a small extension will be acceptable. The Barn Hill area benefits from its hilly character but the dramatic changes in level throughout the Conservation Area mean that two storey rear extensions will not normally be permitted because they will have a seriously negative impact on your neighbour. Above all, for a proposal to be acceptable, it must either preserve or preferably enhance the character of the area. **You will need Planning Permission for many types of extension or alteration in Barn Hill Conservation Area.** You should consider the following points before submitting your application.

- Will your proposed changes add to or detract from the enjoyment of the whole area by you, your neighbours and visitors?
- How will the extension affect the overall shape of the house? The extension should not dominate the existing building or street scene.

Page 10 Will the extension make the building too big in relation to the plot size? The extension should not spoil the original garden setting and should be subsidiary to the original house.

- Does the proportion of the extension, position of openings (doors and windows), and roof pitch refer to the character of the area? All door and window openings on the extension must either be the same, or otherwise complementary to the proportions of those on the original house.
- Originally, windows and doors of the houses in Barn Hill were manufactured using timber. Therefore, the best way to preserve the character of your home is to use timber windows and doors in your new extension.
- Pitched roofs on extensions should complement the roof on the original house. Where possible, matching materials should be used.
- Will the extension affect your neighbours' view or daylight?
- Extensions to the side should not fill the space between houses, because this creates a 'terraced' effect and changes the character of the streetscape.



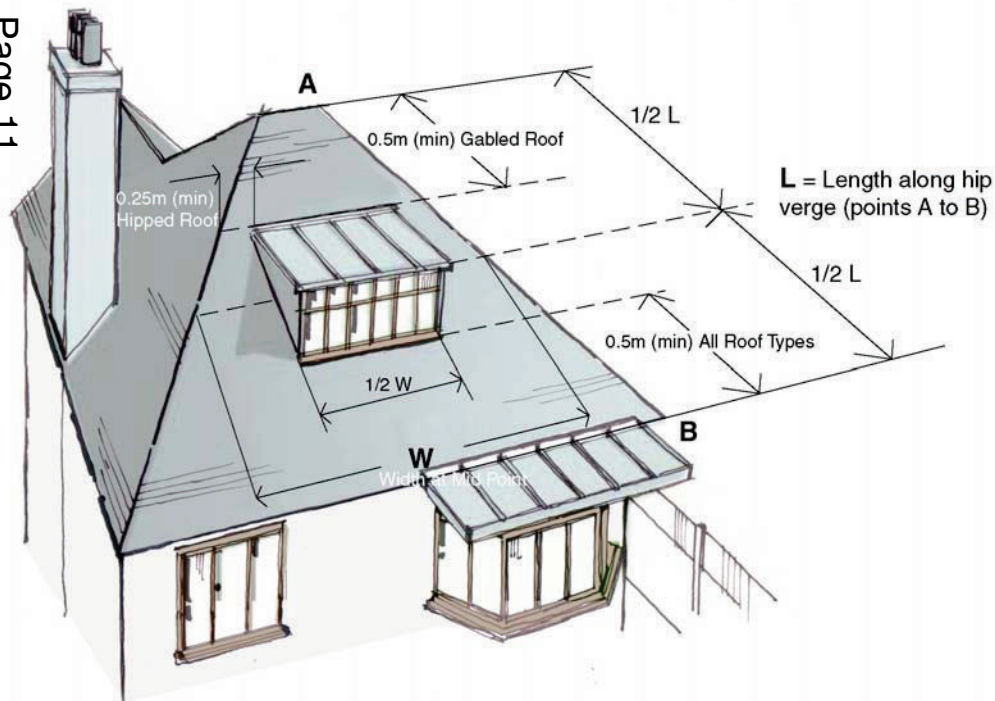
- Brick bonds* on new building work should match the original and where possible should tie into the existing brickwork. Eventually, the new brickwork will weather down to blend in with the original.
- You are encouraged to use materials that are environmentally sustainable to construct your extension. In particular, recycled bricks and roofing materials can be cheaper and may match your original materials more easily.
- For properties on corner plots, the Council discourages the infilling of rear gardens with new buildings facing onto side streets.
- Guttering should be incorporated within your property and should not overhang property boundaries.

3.1 Dormers, roof-lights and alterations to the roof

Poorly designed alterations to the roof slope will damage the character of Barn Hill. If you do want a dormer window, it should be in keeping with the style and proportions of the existing house and windows and you should use the same construction materials as the original house. The following guidance should be adhered to:

- Under no circumstances will front dormers be permitted in the Conservation Area.
- Side dormers will be considered on a house to house basis, but they are not usually permitted as it is very difficult to detail this type of dormer window without compromising the character and appearance of the house or wider street scene.

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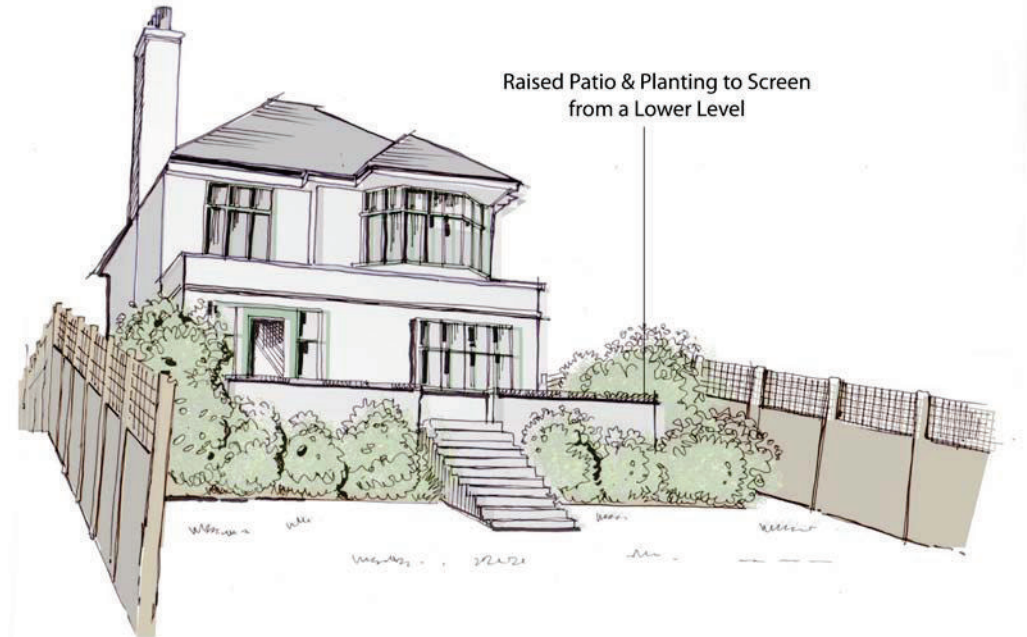
- Windows in rear dormers should be of the same proportions and style as the original windows below. Rear dormers should be no wider than half the width of the original roof plane. They should be set down at least 0.3 metres from the ridge of the house and set up at least 0.5 metres from the eaves lines of the house. The front face should be predominantly glazed.
- The conversion of a hipped roof into a full gable will not be permitted as this results in significant change to the character and appearance of the house and street scene.
- Roof-lights are not permitted on the front roof-slope. On the side roof-slope one roof-light may be acceptable unless the property is located on a corner and fronts the street. At the rear of the property no more than one roof-light will normally be permitted and this should be kept as small as possible. Roof-lights must be set flush within the roof plane.

3.2 Rear extensions (including Conservatories)

Development in rear gardens can have a serious impact on the character of the Conservation Area and the amenity of your neighbours. Therefore, you should comply with the following standards:

- The maximum depth permitted is 3 metres from the original rear elevation of a semi-detached house or 4 metres from the original rear elevation of a detached house (Note: The depth of the extension may need to be reduced if you are also proposing a basement extension– **See 3.4 Basement Extensions**).
- The height of your extension should be kept to the lowest practical level whilst still complementing the character of the original house. Generally the height permitted for a flat roof extension is 3 metres. If a pitched roof is proposed, the maximum average height permitted is 3 metres.

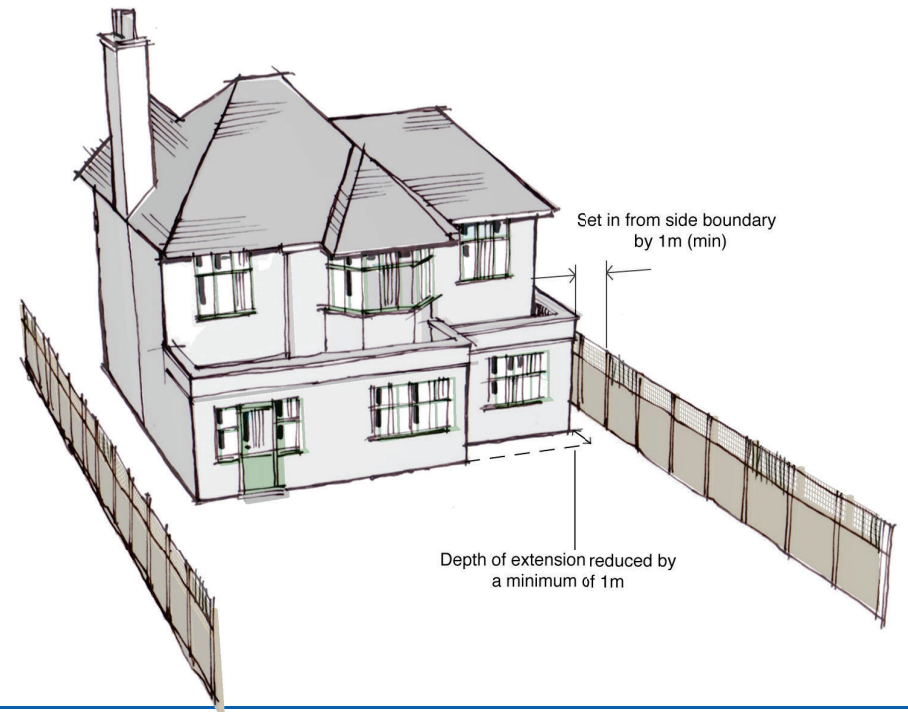
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- Where the garden level is lower than your house, it is important that your single storey extension does not appear as a two storey addition. It may be necessary to sit your extension within a raised patio or terrace so that the lower portion below the internal floor level is not visible from the garden of your property or from your neighbours gardens. This will ensure that the extension is viewed as a single storey extension and will preserve the character of the original property.
- In some cases there may be differences in the levels of gardens. Where your neighbours garden is at a lower level, it is likely that your extension will be required to be of more modest proportions to reduce its impact. This may be achieved by:
 - reducing the height of your extension;
 - reducing the depth of your extension; and/or
 - increasing the set-in from the shared boundary.



- Where your extension is situated immediately adjacent to a neighbour's rear bay window, the depth of your extension is restricted by a line drawn at 90° from the mid point of the angled face of the bay
- Rear extensions should be no wider than the **original** house and will not normally be permitted where they are behind a side extension. This will only be permitted where the depth of this part of the rear extension is reduced by a minimum of 1 metre and set in from the side boundary by a minimum of 1 metre.
- Well designed conservatories constructed using traditional materials, such as timber, will be considered on their individual merits. They should accord with the size criteria set out above.

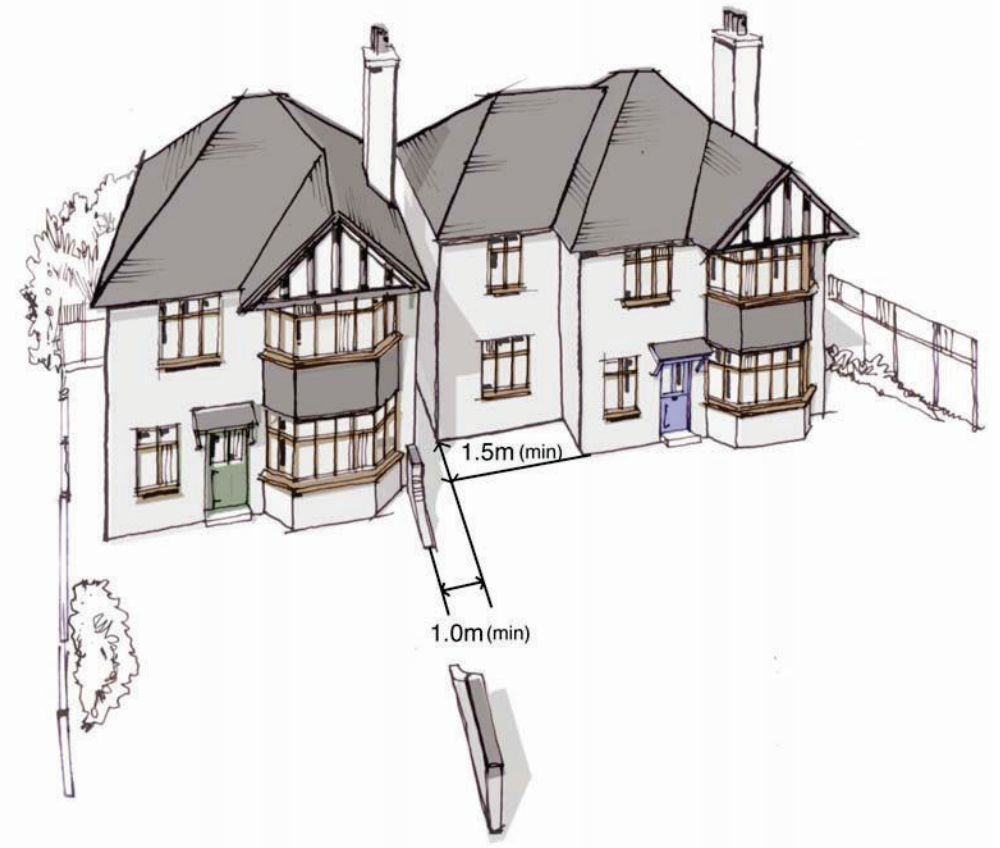


3.3 Side extensions

Side extensions have a direct impact on the character of the original house, the street and the wider Conservation Area. Poorly designed extensions can change the character of the Barn Hill Conservation Area from that of individual houses in separate garden plots to one of almost terraced town houses; this is not acceptable. Extensions should be designed to complement the original house and not impact on the amenity of your immediate neighbours. Proposal should comply with the following standards.

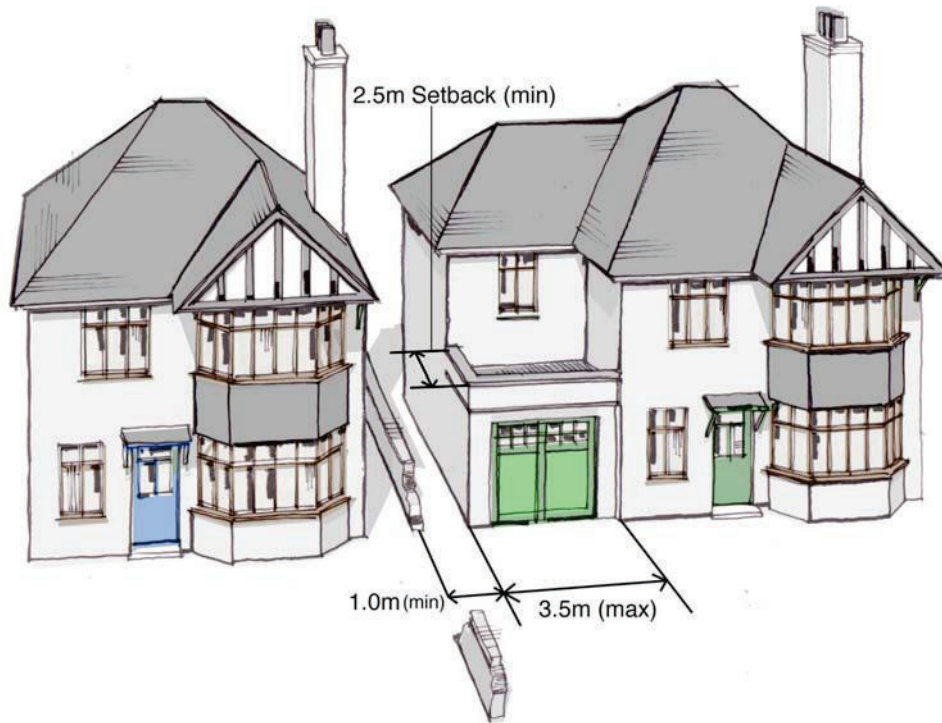
- To preserve the important separation and views between houses you should maintain a minimum gap of 2 metres to the side boundary (including side garages) at all levels. The front elevation of the new side extension should be set back from the front elevation of the original house by at least 1m.

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- If it can be clearly demonstrated that maintaining a 2m gap to the boundary would prevent the construction of an extension with practical internal room sizes, then a reduced set in from the side boundary of 1m will be considered. However you will be required to increase the set back of your extension at all levels to at least 1.5m from the front of the original house.

- Where the side boundary of your property adjoins the rear boundary of the neighbouring site, the set in from the side boundary is still required to ensure a development does not appear cramped in the plot.
- In addition to the above requirements, the width of the side extension is restricted to a maximum of 3.5m wide (measured externally). This is to ensure that it is of a size and scale that is subservient to the original house.



- If you are planning to build a first floor extension above an existing garage you should ensure that the front of your first floor extension is set back by at least 2.5m from the front of the existing garage.

3.4 Basement Extensions

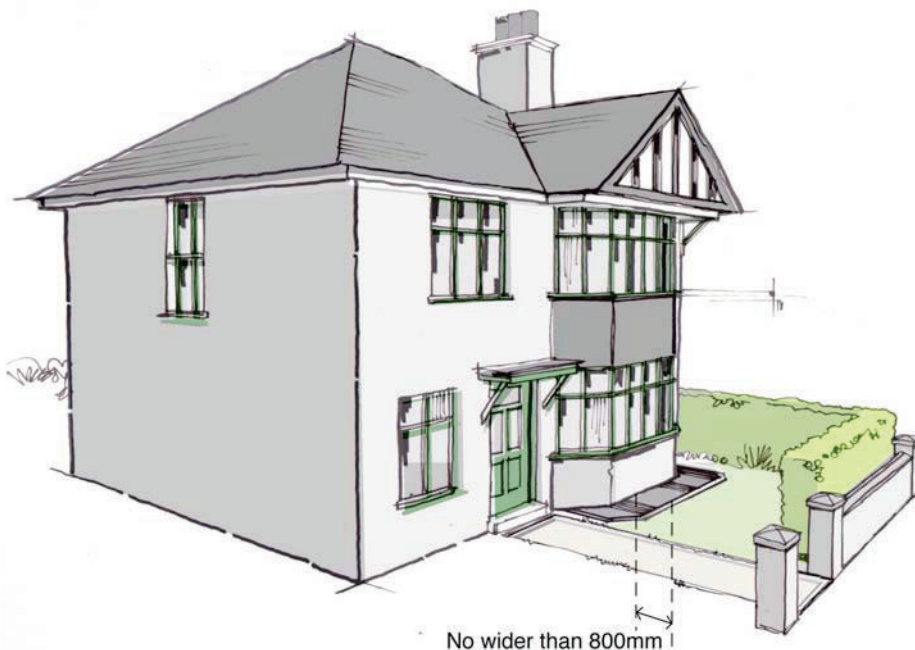
The hillside nature of Barn Hill Conservation Area has resulted in an increased number of residents expressing an interest in excavating new basements below the rear of their property. When considering this type of extension you should comply with the following standards.

- Any basement extension should be no wider than the original house.
- Light wells should be located to the rear, but where unavoidable new front light-wells should project from the front wall of the house by no more than 800mm or half the length of the front garden, whichever is less. On bay fronted houses the light wells must follow the profile of the bay. Light-wells must be no wider than the bay or windows above. On some properties, especially ones set close to the road, it may be not possible to appropriately accommodate a light well.

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- If your property does not have a significant change in ground level to the rear, a light-well with a maximum depth of 1 metre can be provided to allow natural light to the basement.
- Windows to the basement must not be visible from the rear garden. If there is a change in ground level to the rear of your property, a light-well can be set within the raised patio or terrace which would conceal the windows to the basement (**See Raised Patios & Terrace**). This design approach can be adopted with or without a single storey rear extension being proposed.
- The maximum depth of basement permitted is 3 metres from the original rear elevation of a semi-detached house or 4 metres from the original rear elevation of a detached house
- Basements will not be permitted if they are to provide habitable accommodation such as primary living areas and bedrooms.
- You may also need to enter into a Party Wall Agreement with the neighbouring properties. Further information can be found on the councils website.

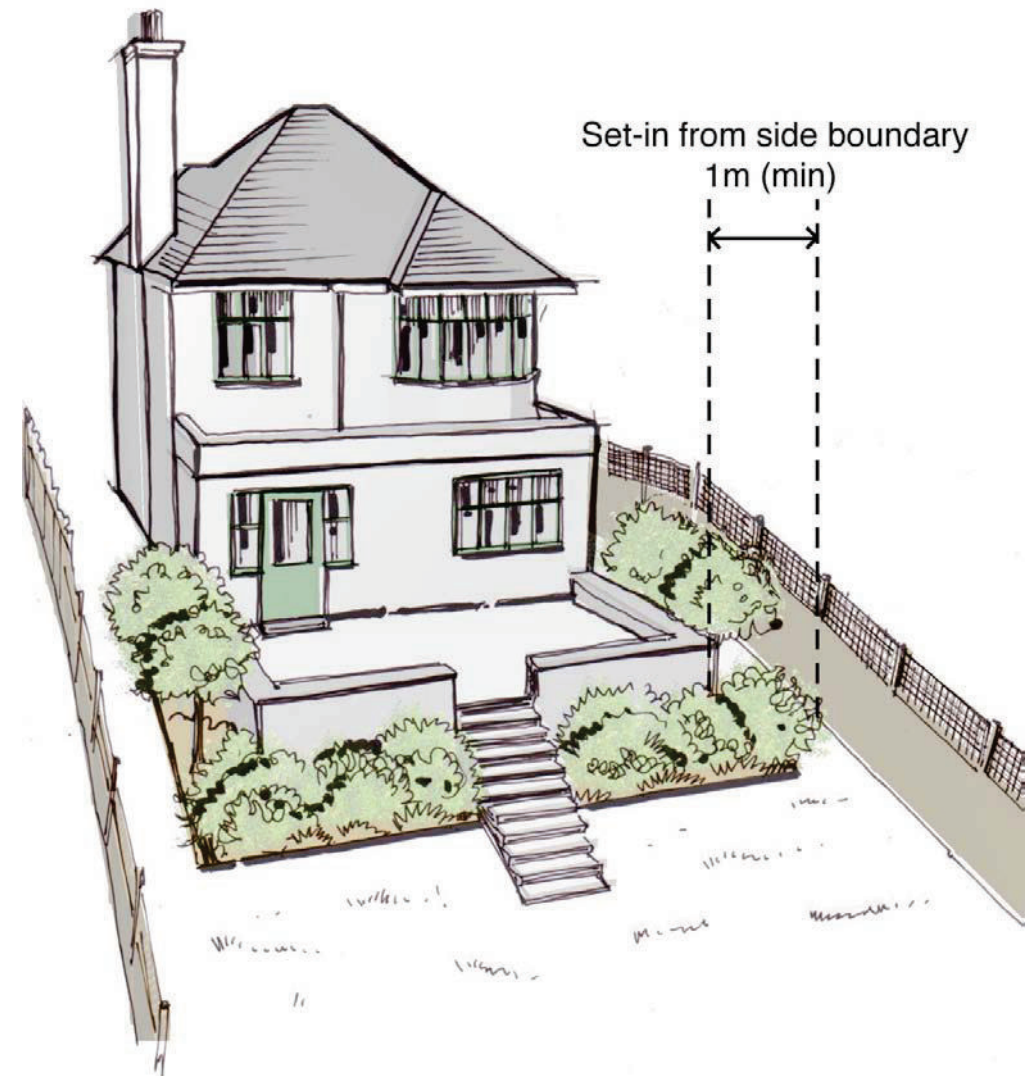
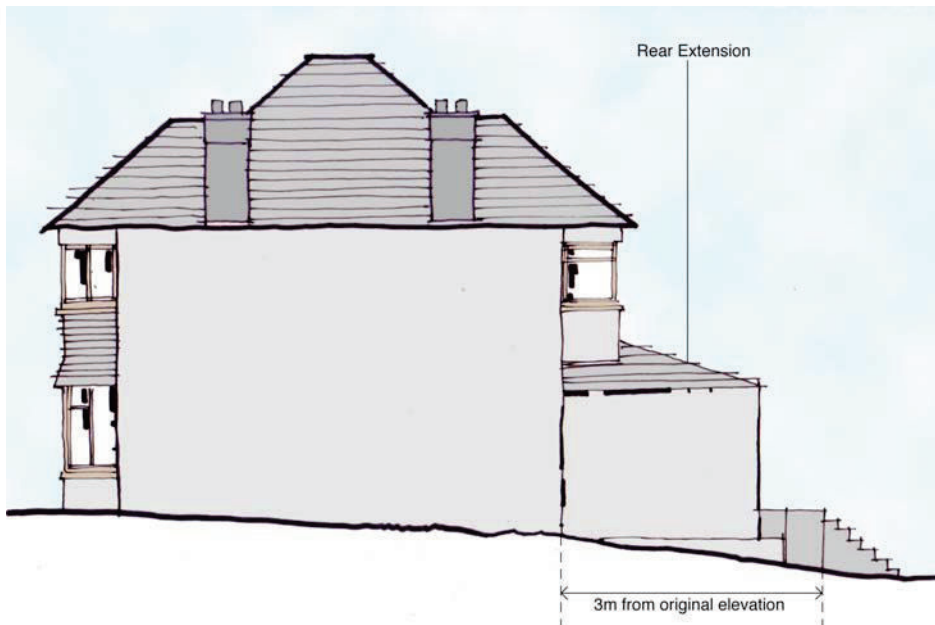


3.5 Raised Patios & Terraces

Raised patios and terraces can be problematic because they are open and are at an elevated position, allowing overlooking of neighbouring houses and gardens. The following guidance seeks to protect neighbouring residential amenity and the character of the area:

- Raised patios and terraces (above 0.3m high) should be set-in from side boundaries by at least 1 metre. An increased set-in will be required where changes in ground level are significant.
- Details of boundary planting between the raised patio or terrace is required to provide additional screening for neighbouring residents.
- The maximum depth permitted is 3 metres from the original rear elevation of a semi-detached house or 4 metres from the rear elevation of a detached house. It may be possible to increase the depth of the raised patio or terrace if it is set further in from site boundaries however this will be dependent on individual site characteristics.

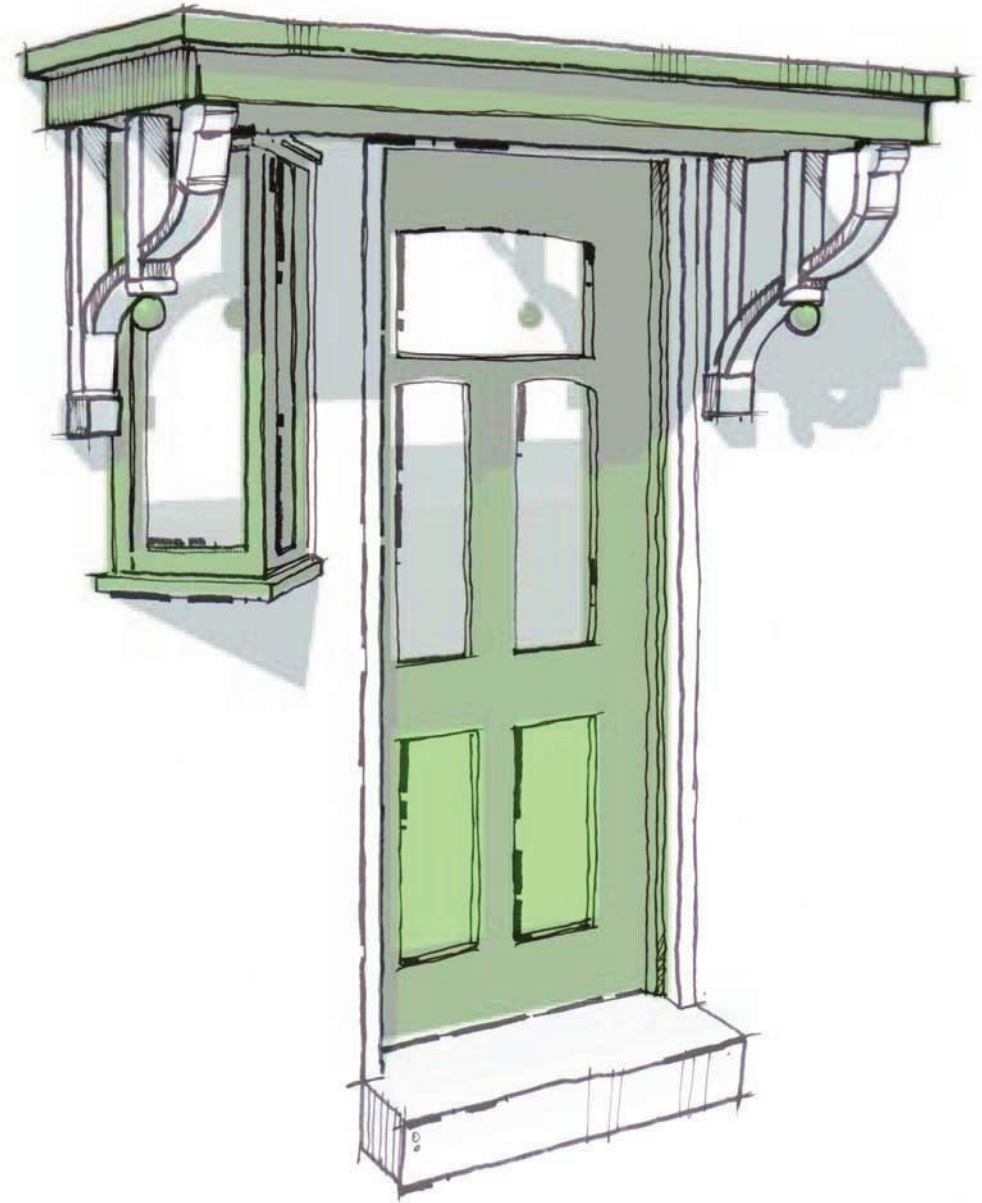
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3.6 Front Doors, porches and canopies

It is always best to retain your original front door, porch or canopy in their original form. The replacement of canopies with enclosed porches or infilling of recessed entrances or porches with extra door sets will not be permitted. If you wish to replace any of these original items, you should ensure that the replacements are detailed to match or complement the originals and that you choose traditional materials.

Where a new porch is proposed, it will need to be designed to be in keeping with the style of the house. Where possible choose traditional materials to match the house.



3.7 Garages

Original garages make a positive contribution to the character of the Barn Hill Conservation Area and their retention will be encouraged. However, where it can be demonstrated that an original garage is too small to accommodate a modern car then the Council may consider proposals for a replacement.

If you want to build a new garage or replace an existing one, the design must be in keeping with the house. It should have a steep pitched roof with wooden swing doors that incorporate top hung windows. A decorative gable-end with half timbering will ensure that your garage will preserve the character of the Conservation Area. It should be set well back from the front wall of the house.

Where a development proposal will involve the loss of a garage without replacement, improvements to the front garden will be sought to ensure that the parking of a vehicle within the front garden does not detract from the setting of the property or wider street scene. See Section 5 for further guidance.

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3.8 Window repair and replacement

The original style of windows within Barn Hill are casement windows. Please repair original windows and doors wherever possible. This will be cheaper than replacing them and will make sure you keep the character of your house. If leaded lights have been damaged, it is surprisingly inexpensive to have them restored to their original condition. Rotten areas of sills* and jambs* can be cut out and replaced with new timber cut to the same size and shape. This is a fairly quick and inexpensive way to repair your windows and doors. Please note, replacement windows and doors to elevations fronting the highway will require planning permission for houses covered by the Article 4 Direction.

If you do need to replace doors or windows then, ideally, you should copy the original exactly as it is unlikely that you will find standard off the shelf replacement frames that will give a close enough match to your original windows. A good carpenter will be able to make a replacement using the original window or door as a pattern so that no detailing is lost. Poor window replacement can have the single most negative impact on the character of the Conservation Area.



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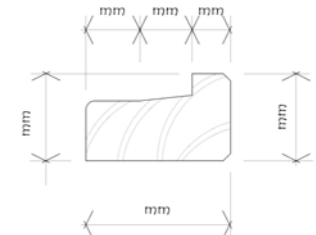


The Council will consider alternative materials to timber including uPVC* and aluminium, subject to the replacement windows replicating the design of the **original** windows (even if the windows have already been replaced previously). This also applies to windows within extensions. The following guidance should be adhered to:

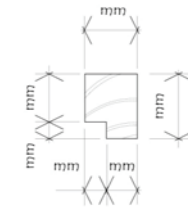
- Replacement windows must have the same overall arrangement and proportions as the original windows, including the same number of uprights, the same number of horizontals and the same number of glazing bars*/leaded light* details all at the same position as the originals.
- Even sight lines must be provided between fixed and opening lights.
- All glazing bars/leaded light detailing must be externally mounted and not sandwiched between double glazed units or internally mounted.
- A drip rail* must be provided within the replacement windows if this is a feature of the original windows.

When submitting a planning application for replacement window, the following information will be required:

- All window elevations to be replaced at a scale of 1:10 or with all dimensions clearly annotated
- Property elevations or photographs of the whole of the property, with the windows to be replaced numbered to correspond with window elevations
- A cross-section at a scale of 1:5 or preferably full size through the transom* showing the relationship of fixed and opening lights and drip rails*, with full size details of any glazing bars* or leaded lights* which must be mounted externally

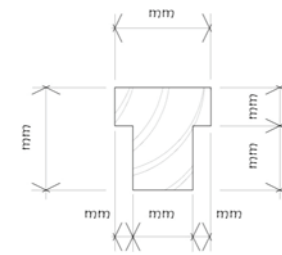


Principal Transom and Hood Moulding

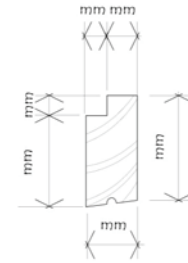


Casement Head Rail

Casement Section Details

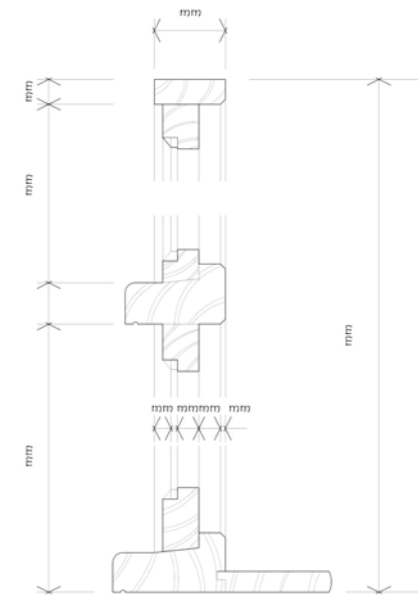
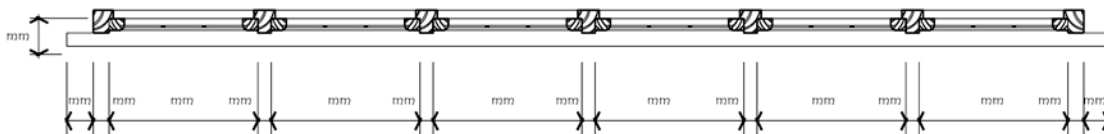
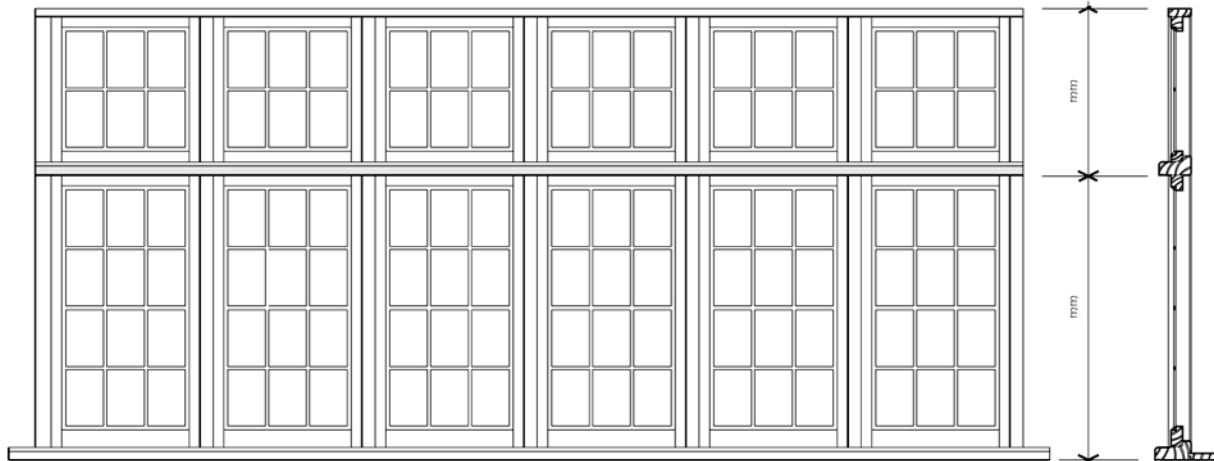


Principal Mullion



Casement Bottom rail

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Casement: Vertical Section

4.0 General repairs & other modifications to your home

There are many reasons why people want to make changes to their home. Repairs and alterations may be necessary due to weathering, families may need more space and new owners may wish to personalise their home.

Living in a Conservation Area does not mean that you cannot make alterations to your home but it does mean that the changes that you may wish to make must preserve or enhance the character and appearance of your home and the area.

The houses in Barn Hill Conservation Area were built to a variety of designs. However, they all blend together because similar building materials, similar overall sizes and architectural details were used. Also, many streets and short runs of houses were built to consistent designs. This unity of design gives the area its unique character. Alterations to an individual building may affect the whole street scene if they are not in keeping. The more inconsistent the alterations, the more negatively the area may be affected.

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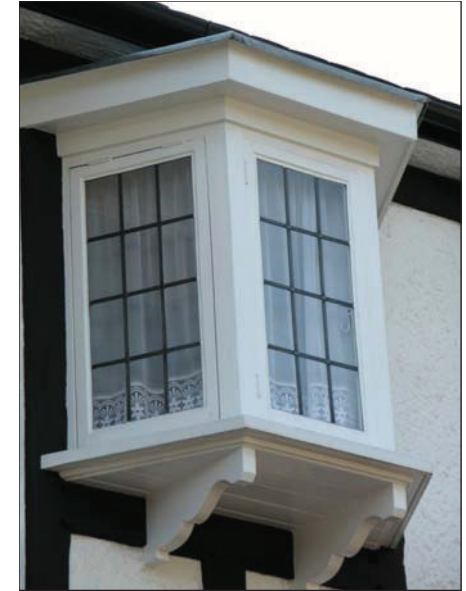
Some properties were altered before the strict controls of the Article 4 Directions were put in place. Where this has happened, we encourage residents to restore the original appearance of their property. In time, the character of the area will be enhanced and the desirability and value of individual homes is likely to increase.

You can avoid costly repairs by regular maintenance. For example, you should clear blocked gutters, repaint woodwork regularly and refit roof tiles or slates when they come loose. It will be much more expensive to carry out repairs if you leave problems to get worse. However, where repairs are needed, it is important to use the right materials and methods. **You may need planning permission to carry out some types of repairs, such as replacement windows and roof tiles for properties covered by the Article 4 Direction (see section 2.2).** It is always recommended that you contact the Planning Service prior to commencing any work on your property for advice on whether planning permission is required. In the following section you will find some advice to help you carry out repairs to your home.

4.1 Decorative features and details

The original designers and builders working in Barn Hill paid great attention to the architectural details and decorations of the houses. There is quite a variety of embellishment to be seen. These include: console brackets*, string courses*, decorative mouldings, terracotta details*, stained and leaded glass, carved timber work, roof tiles, ridge tiles and chimney pots, bricks, tile window sills and projecting eaves. It is essential to retain all original decorative features if you want to preserve the character of your house. Once lost original details are rarely replaced. Removal of building detail can spoil the appearance of individual buildings as it is often the quality of the decorative features of the individual houses that add to their value. Removal of these individual features will eventually damage the whole street scene. If decorative features on your house are beyond repair, specialists will be able to make an exact replica or a building materials salvage supplier may be able to trace an original replacement. Houses with original architectural detailing will usually have a better resale potential.

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4.2 Repairing and re-pointing brickwork

Where bricks have spalled*, chipped or decayed, they should be cut out and replaced with bricks of the same size, texture and colour. The brick bond* should also be matched exactly. You can either use second hand bricks from building salvage suppliers or try a specialist brick manufacturer or supplier. It is in your interest to carry out re-pointing to the highest standards. Poor re-pointing work can make the brickwork decay more quickly.

Generally loose and decayed mortar should be raked out by hand using a hammer and chisel. Do not use grinders! Apply new mortar to the open brick joints with a suitable pointing trowel. The mortar should match the colour and texture of the original. Generally, we recommend that you use a Lime based mortar. Take care not to let mortar spread over the faces of the bricks.

4.3 Roughcast and render

Do not remove roughcast* or render from walls unless you have to do so for repair, in which case you should replace it. Take care to match the existing colours and texture. You will need to find out the composition of the roughcast or render before you can choose the right material for repair. Where possible rendered surfaces should be left natural and not painted.

4.4 Repainting and other wall coverings

Do not paint original brickwork or cover it with artificial finishes such as stone cladding. In the past the original brickwork on some buildings has been covered over with paint and other coverings. If architectural details are covered over, this can spoil the appearance of your property and may trap moisture and cause serious damage to walls. It is usually possible to remove paint.

Painting windows, doors and other woodwork can help preserve these original features. Colours should be traditional and in keeping with the suburban character. There are a number of colours that will preserve the character of the area. Normally it is darker, sober colours that are acceptable for doors whilst window frames are normally white. The Council will not give Planning Permission for garish or bold colours that stand out and break the uniformity of the street scene.



4.5 Half timbering

Half timbering* is an important part of the character of some houses. This should always be retained and repaired where possible. Replacement timbers should look exactly like the originals and be painted and stained to match.

4.6 Tile Hanging

Some houses have areas of tile hanging, which are standard plain clay roof tiles applied to the walls on timber battens. Sometimes, bands of specially shaped tiles are added. Tile hanging can easily be repaired or replaced if necessary. Make sure that new tiles match the plain clay originals.



4.7 Roofs

Most roofs in the area are covered in clay tiles. Problems that arise are usually due to rotten fixing nails or wooden battens. If you need to carry out repairs, it is usually possible to re-use up to fifty percent of the original tiles. However, if replacement is necessary, care must be taken to match the colour, texture, size and materials of the originals as roof tiles come in many shapes and sizes. Planning permission is required for replacing roof tiles for houses covered by the Article 4 Direction (see section 4.5 below for further guidance).

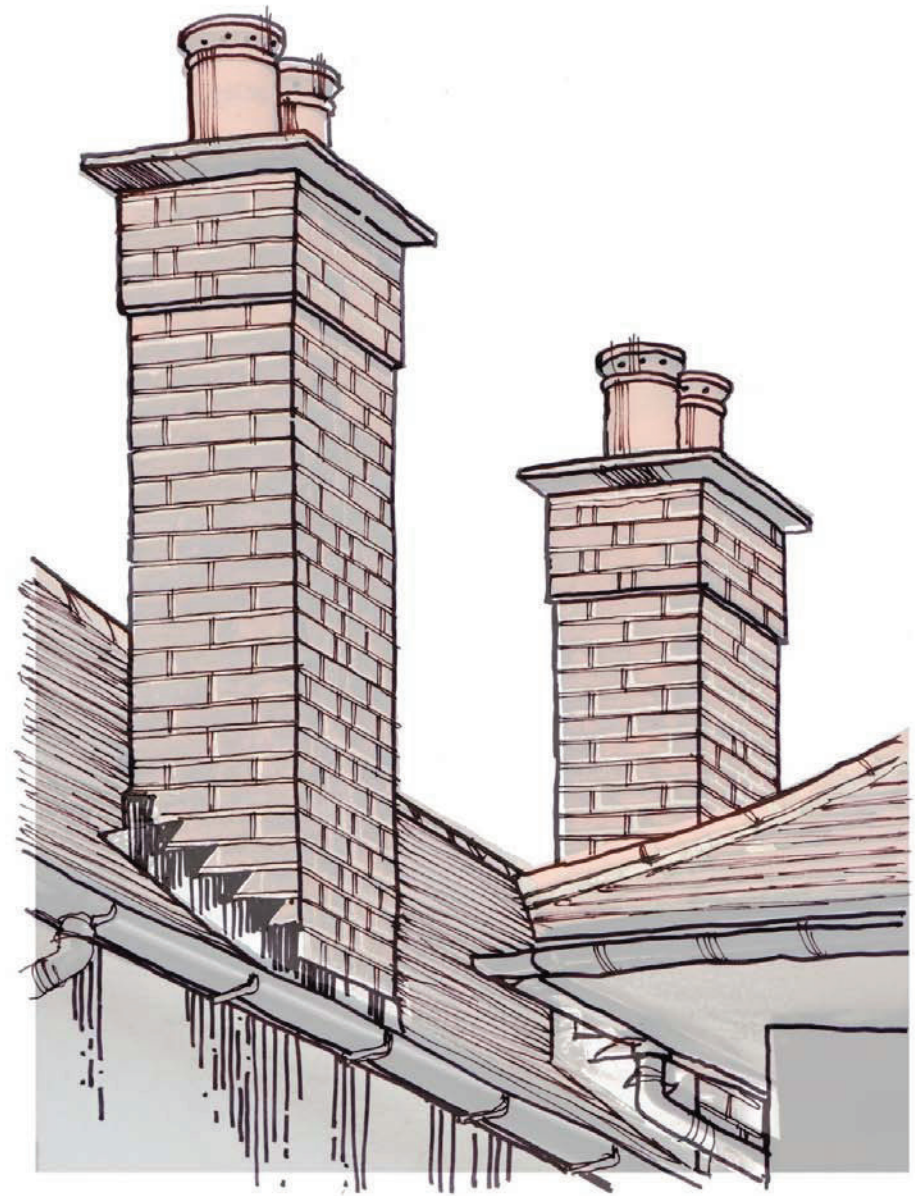
You should also note that Building Regulations is also required to replace roof tiles.

4.8 Chimneys

There are many different styles of chimney in the Barn Hill Conservation Area. In some cases they were built using decorative bricks and they are an important part of the character of the area and must not be taken down or altered. Please keep your chimney in good repair. A chimney helps ventilate your house and if you need a new flue for a new central heating system it can be run inside the existing chimney. Planning permission is required to demolish or make alterations to a chimney for houses covered by the Article 4 Direction.

4.9 Gutters and drainpipes

It is essential to keep your gutters and drainpipes in good repair because leaks can cause damp problems in walls, which may cause expensive problems inside your home. The original gutters and drainpipes in the Conservation Area were cast iron. If you need to replace your gutters and drainpipes you may be able to use painted cast aluminium, which can look similar to Cast iron. Check it matches the original and paint it either black or another dark colour to match your paintwork. If you have to install new rainwater goods, please retain decorative cast iron hopper heads.



4.10 Satellite dishes and aerials

Satellite dishes and aerials must be fixed to the back of houses. Do not place them where they can be seen from the street, on the chimney, or on your roof. You will not normally get permission to fix dishes in these locations. Please contact the Planning Service for advice on more appropriate options. Cable television should be considered as an alternative which does not require the installation of a dish.

4.11 Gas, electricity and water services boxes and burglar alarms

Please keep existing traditional boxes if you can. Position modern gas, electricity and water meter boxes so they are not too noticeable and please paint them a dark colour. Try to make them blend in with the background. Burglar alarms should also be painted a dark colour and located in a position that enables them to be a deterrent, but does not dominate the front elevation of your home.



4.12 Solar panels and environmental installations

The Council encourages environmental improvements, but also recognises that many installations are not appropriate for conservation. It is always best to install environmental technology that does not impact on the character of the Conservation Area such as additional thermal insulation, secondary glazing and ground source heat pumps. Solar panels should not protrude more than 200mm beyond the plane of the roof. To achieve this, many manufactures provide an in-roof system where the panels are recessed flush with the roof tiles. Furthermore, panels should not be sited on the front or side elevation or roof slope or be visible from the highway.

Insert image of Solar Panels

5.0 Gardens

Gardens are as important to the character of Barn Hill as the houses. In addition to their aesthetic and environmental value, plants can provide privacy and security. The Council will always recommend the planting of hedges in place of tall walls.

5.1 Front Gardens, Walls and Boundaries

The original front gardens are a distinctive feature of Barn Hill Conservation Area. Sadly, many of them have been paved over in recent years and boundary walls, hedges and fences removed. Front gardens that have been planted with soft landscaping features enhance the appearance of your property and the Conservation Area. The removal of garden walls and hedges and the formation of hard surfaces will only be permitted where they form part of an acceptable off-street parking scheme (see section 5.2).

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Where they have been lost, the Council will encourage traditional front boundary walls to be replaced. Walls should be built to match the street scene, including matching materials. Most walls are of the same brick as those of the house. Low front boundary walls add to the suburban character of Barn Hill and should be no more than 1m in height.

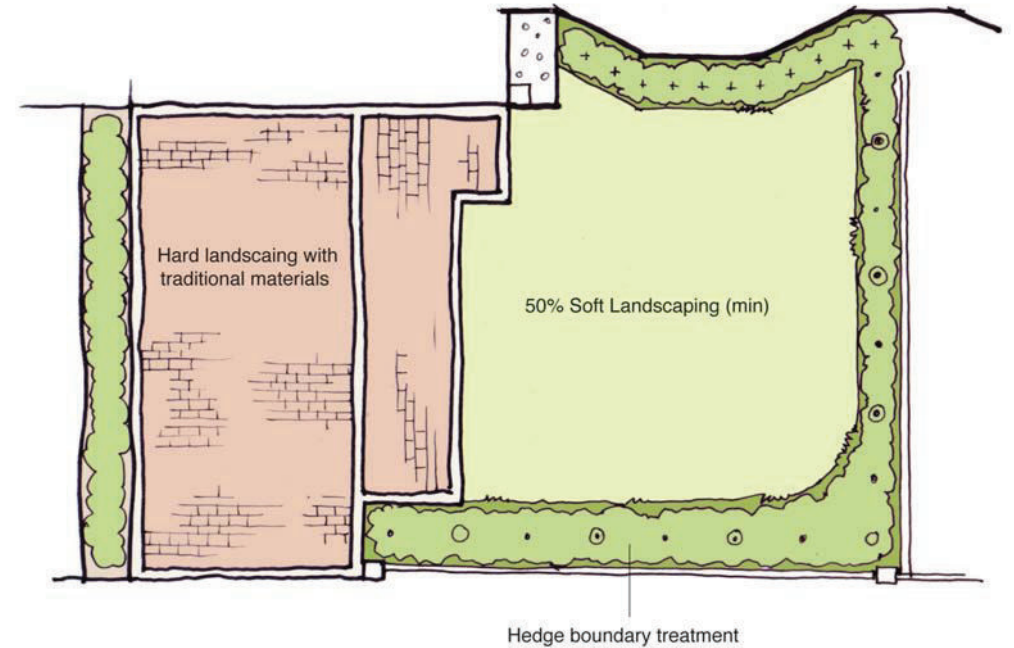
Hedges play an important role by adding to the character and setting of the dwellings. These privet hedgerows typically trimmed to a height of 1.2-1.5 metres serve to define boundaries and identify access points. The removal of hedges would drastically alter the natural/urban balance within Barn Hill. Where possible you should retain your hedges (if you have them) as this is the best way to preserve the character of Barn Hill.

5.2 Driveways and off-street parking

In exceptional circumstances the Council may grant permission for a standard off-street parking space where at least 50% of the total front garden area will be retained and suitably landscaped with soft planting features. Any new hard surfaces should be formed using traditional materials such as cast concrete, pavers or loose gravel and be of permeable construction.

If a new access point is permitted as part of the proposal the remaining walls should always be properly finished. The removal of garden walls and hedges across the whole width of the front plot is not acceptable.

Planning Permission for off-street parking spaces will also be subject to assessment by the Council's Transportation Unit.



5.3 Trees

All trees in the Barn Hill Conservation Area that have a diameter greater than 75mm, measured at a height of 1.5m, are protected. You will need permission to carry out even the most minor of work to a tree. It is always best to contact Planning & Development for advice on the best way to protect the trees in your garden. Contact details can be found on the councils website.

5.4 Ramps for People with Disabilities

Access ramps may be very necessary for some residents. However, please choose a design and use materials that are in keeping with the area. You can soften the outline of a ramp with planting. Any brickwork should match the bricks used for the house and handrails are best painted a dark colour.



5.5 Garden buildings

If your property is a house you can build some types of garden building in your rear garden without Planning Permission, using Permitted Development rights. However, permitted development rights do have limitations and you may need planning permission if the garden building is situated on land between a wall forming the side elevation of the house and the property boundary. Furthermore, a garden building is limited in height depending on the distance of the building to the site boundary and it is required to be used for purposes incidental to the enjoyment of the house. These rights are not enjoyed by flats, subdivided houses and multiple-occupancy properties. It is recommended that you check with the Planning Service whether planning permission is required prior to constructing any building.

If you want to erect or construct a building larger than that described above or live in a property that does not enjoy Permitted Development rights you will have to apply for Planning Permission. As with extensions and alterations to the main house, new buildings or structures within rear gardens of Conservation Areas must preserve or enhance the character or appearance of the area. Please refer to the design advice set out in section 4.0. Subject to this, the following will be used by the Planning Service to guide its assessment of the acceptability of such proposals:

- In gardens of between 10 and 25 metres in length, the general maximum size of individual buildings should be no greater in plan (footprint) than $1/5$ (20%) of the overall length and $1/2$ (50%) of the width of the garden. The buildings should be located in the rear $1/4$ (25%) of the garden and should have a maximum footprint of 15m^2 . Buildings of this size will normally be required to be set away from joint boundaries by at least 1m to reduce their impact, promote further landscape development and allow future maintenance without having to enter your neighbour's garden.
- New buildings within gardens of longer than 25m will be assessed on their individual merits. However, it is likely that they will have to comply with the building proportions described above.
- New buildings in gardens of less than 10 metres in length will be judged on their individual circumstances. However, if acceptable, they will normally need to be much smaller than the maximum guidance above. New buildings in smaller gardens of less than 10m may also unacceptably reduce the size of

- your garden or prevent the future extension of your house. You should also check that you comply with the Councils planning guidance.
- If you wish to position your building within the first $3/4$ (75%) of your garden the Council will assess your application on its individual merits. However, it is likely that a building in this location will have to be significantly smaller than the proportions of buildings described above. Where your gardens abuts a neighbour's garden you may have to reduce the size and scale of your proposed building to reduce the impact on the neighbouring garden and views out of your neighbour's house.
- Existing trees and significant soft landscape features should not be removed or damaged to allow new buildings. However, if the condition of a tree suggests its removal or pruning, you are required to give six weeks notice to the Council. You can get specialist advice from the Planning Service's Landscape Design Team.



6.0 Getting permission

Whether you need permission depends on what you want to do. However, in many cases you will need the permission of the Council before you make any changes to the outside appearance of your house. You may be liable to enforcement action if you carry out work without permission.

Living in a Conservation Area does not mean that you cannot make alterations to your home but it does mean that the changes that you may wish to make must preserve or enhance the character or appearance of your home and the area.

It is very important to remember that the Article 4 Direction planning controls placed on the Conservation Area by the Council are legally binding. In addition to standard planning controls, you must apply for Planning Permission for any of the work listed in Section 2.4. It is always best to call the Planning Service to find out whether you need to make an application. The Council can take enforcement action against you if you carry out work without permission. You may be required to undo the work and reinstate original details at your own expense.

6.1 Planning Permission

You should check with the Planning Service to find out if you need Planning Permission. In many cases you will need Planning Permission to do work which outside the Conservation Area would not need permission. This is because the area is covered by an Article 4 Direction.

6.2 Conservation Area Consent

Conservation Area Consent is designed to prevent the demolition of any structure over 115 cubic metres that contributes to the character of the area. You may need Conservation Area Consent if you want to demolish a building. Please check beforehand with the Planning Service.



6.3 Tree Preservation Orders

In Conservation Areas it is necessary to give 6 weeks written notice to the Planning Service before removing or lopping a tree that has a trunk diameter exceeding 75mm at a height of 1.5 metres. In the written notice you should include a description of the tree, its location, what work you intend to do and why. Some trees may also have Tree Preservation Order.

6.4 Building Regulations Approval

You will need Building Regulations Approval for most alterations and extensions. You will need to check with the Council's Building Control department before you start the work. Please remember that you may need Planning Permission even if you do not require Building Regulations Approval and you may require Building Regulation Approval even if you do not require Planning Permission.

6.5 How to apply

You will need to fill in an application form for the relevant permission and provide drawings of your house as it exists and how it will look when work is completed. The clearer your drawings the quicker your application can be processed. We recommend that a qualified Architect or similarly skilled professional do the drawings for you. All planning applications within a Conservation Area are required to be accompanied by a Design and Access Statement. Please refer to the councils website for further guidance on submitting a planning application.

The Planning & Development department aims to determine minor planning applications within 8 weeks. It is likely that permission will be subject to providing additional information, such as material samples, before you are allowed to start construction work. If you are proposing a contemporary building or alteration that is not traditionally detailed, you will need to submit additional information at the same time as your application. These may include material samples, large scale details, computer models, perspectives and photo montages. Please ask the Planning Service which information they require.

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6.6 Specialist Help

To make repairs and alterations that preserve or restore the character of your property, you may need to ask specialist suppliers and craftsmen for help. Some of the materials and skills you will need may no longer be in common use and may take time to find. Please check with the Council's Planning Service if you are in any doubt. They will be pleased to give you advice on where to look for specialist help. They can make sure that the work you or your builder proposes to do is the best way to retain the character of your home.

Specialist services and supplies are sometimes more costly than the mass-market, ready-made alternatives, but not always. In most circumstances **specialist help need not cost more**. However, when it does, many residents view the extra expense as an investment. If you preserve or restore the original appearance of your house, this can help to maintain or even increase its value.

7.0 Technical Terms

Brick bond: Arrangement of bricks in a wall, combining bricks laid lengthways (stretchers) and bricks laid widthways (headers).

Case ment Window: Made up of a frame with a smaller sub frame, called a case-ment, set within which is fixed with hinges at the top or sides to allow it to swing open.

Console bracket: A decorative wall bracket which supports a bay window, part of a roof or other feature that projects out from the house.

Drip Rails: A sill like section mounted above the opening casements of windows to shed water away from the opening when it is opened.

Dentils: Bricks set at interval to produce a decorative band.

Eaves: The junction of the wall and the lower edge of the roof.

Glazing bars: The bars of wood or metal which separate individual glass panes in a window.

Half-timbering: Often called 'timber framing', this means timbers applied vertically or horizontally to the walls of houses as a decorative feature.

Jamb s: The side sections of a door or window frame.

Leaded light: A window made of small pieces of glass joined by strips of lead.

Parapet: A section of a wall that projects above the eaves of a flat roof.

PVCu: Unplasticised Poly Vinyl Chloride.

Roughcast: Rendered wall finish with small stones added to the mixture.

Reveal: The part of a wall that turns back towards the window frame in its opening.

Sill: The bottom section of a window frame that projects out from the wall to allow rain to run away.

Spalled bricks: Bricks that have lost their front faces through frost damage.

String course: A projecting band of brickwork.

Terracotta details: Specially shaped and moulded bricks used as decorative features.



Queens Park Conservation Area

Design Guide





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7.0 Explanation of technical terms

1.0 Introduction

Conservation Areas are places of special architectural and historic character with a collective quality worth preserving and enhancing. The strength of their character is dependent on the way the individual buildings and gardens compliment each other. The Local Planning Authority is responsible for designating Conservation Areas with the law set down in the Planning (Listed Buildings and Conservation Areas) Act 1990. This enables the Council, with the aid of localised design criteria and additional controls over **Permitted Development**, to influence the type of physical changes that would otherwise be harmful to the area.

The Borough Council with the support of English Heritage made Queen's Park a Conservation Area in July 1986 in recognition of its special architectural and historic character. Subsequently in 1993 the designated area was extended westwards towards Chamberlayne Road.

In 1994 and 2004 the Council, with the support of residents, added additional planning controls known as Article 4(1) and 4(2) Directions to provide extra protection from development that may damage the character of the area.

This guide provides information on Queen's Park's specific planning controls, as well as advice on ways to repair and improve your home so that it helps preserve and enhance the character and appearance of the area. You may also require Building Regulations approval for alterations to your property, further guidance is set out in Section 6.4 of this Design Guide.



1.1 What makes Queen's Park special?

Queen's Park is one of the most important historic areas in the London Borough of Brent. The area is characterised by its unified urban layout which is made more remarkable by the high level of building preservation. The park is an excellent example of a Victorian urban green space and is the perfect complement to the high quality built environment that surrounds it; in particular the neighbouring two and three storey buildings complement this character.

There is a close historical association between the park and the surrounding houses. In 1879, the area between Salusbury Road and Chamberlayne Road, and bounded by the two railways, was the site of the Agricultural Show. Subsequently the Ecclesiastical Commissioners, the owners of the land, decided it should be developed as a planned estate. After a sustained campaign from a voluntary body, the North West London Parks League, the Commissioners agreed to incorporate a 30 acre park as the centre piece of the development.

The houses were erected over a number of years starting with the north side of Harvist Road of which the majority were completed by 1899. The west side of Evening Road was also under construction in 1899 by local builders Bennet and Gimbreth to the design of G A Sexton. Many builders contributed to the estate which helped to generate the varied architectural character as can be seen on Kempe, Keslake and Chamberlayne Roads.



1.2 Who is this guide for?

This guide is for residents, consultants and builders working in the Queen's Park Conservation Area. It contains practical advice and information to help you make repairs and improvements to your home that will maintain the character of the area.

Alterations that are out of keeping with the original appearance of the houses and streets can spoil the quality of the environment and reduce the desirability of the area. The Council can do much to lead in the protection of the Conservation Area, but residents need to care for their own home with the attention to detail shown by the original designers. We share a duty to protect the special character of the area, not only for today's residents and visitors, but also for those of tomorrow.

As a resident, it is in your interest to keep the special character of your home and area. Usually, houses in well-maintained Conservation Areas have a greater value than those outside. There are many Conservation Areas throughout the country all with different characters and building types, but it is only those areas in which the residents are actively involved in conservation that successfully retain their character.

Some of the technical terms you will come across are marked with an *. These are explained in section 7.



Queen's Park Conservation Area Plan

Paddington Cemetery
Conservation Area

Queen's Park Conservation Area

KENSAL RISE

PARK

1.3 Is my property in the Conservation Area?

Properties with Article 4(1) Direction:

Brooksville Avenue: Salisbury House, Wimborne House, 1-31, 2C-40

Carlisle Road: 1-47, 2-34

Chevening Road: 77-195, 6-122 Vicarage, The Al-Khoei Islamic Centre.

Creighton Road: 1-37, 2-38.

Dudley Road: 1-15, 2-12.

Dunmore Road: 1-5 consec.

Harvist Road: 12-71, 71A, 73-193, 6-70.

Hopefield Avenue: 1-43, 2-44.

Kempe Road: 1-47, 2-46.

Keslake Road: 1-41, 2-40.

Kingswood Ave: 1-45 consec, Park Lodge.

Milman Road: 1-47 consec.

Montrose Avenue: 1-43, 2-44.

Peplow Road: 1-15.

Radnor Road: 1-11, 2-12.

St Lawrence's Close: 1-25 consec.

Summerfield Avenue: 1-43, 2-40.

Tyerton Road: 2

Windermere Avenue: 1-43, 2-44

Properties with Article 4(2) Direction:

Chevening Road: 1-75, 2-74, Coach House.

Keslake Road: 43-125, 42-114.

Kempe Road: 49-97, 48-130.

Harvist Road: 195-265, 72-116, Field House.

Chamberlayne road: Kensal Rise School.

1.4 What is an Article 4 Direction?

An Article 4 Direction is a special control which gives extra protection to a Conservation Area by removing some of the owner's Permitted Development rights. This enables the Council to prevent insensitive development. This does not mean that an owner cannot make any alterations to their home, but it does give the Council more control over the design and specification of proposed

alterations to houses and gardens. This helps ensure the character of the area is preserved or enhanced and that the quality of the environment is sustained.

The eastern half of the Conservation Area, centred on the park, has an Article 4 (1) Direction applied to it. The western half, which was designated later, has an Article 4(2) Direction. Article 4(1) Directions are applied by the Secretary of State, while Article 4(2) Directions are applied by the Local Authority. Although the legislation is the same, there are slightly more planning controls in the Article 4(1) area. Please check to see which Direction applies to your property.

In areas with an Article 4 Direction, owners may have to apply for planning permission for proposed building work that would not normally require planning permission. The extra effort that owners have to make to obtain the appropriate planning permissions is recognised by the Council, so within an Article 4 Direction area the Council does not charge a fee for deciding Planning or Conservation Area Consent applications for work that would otherwise have been Permitted Development. The types of work affected by the Article 4(1) and 4(2) Directions in Queen's Park are summarised in section 2.1 of this guide.

1.5 Listed Buildings

Although the Queen's Park Conservation Area is rich in high quality architecture there are only two Grade II Statutorily Listed structures within its boundaries. These are:-

Telephone Kiosk, Harvist Road

Queen's Park Bandstand

In addition to this, The Stone Hall in Chevening Road appears on the Council's local list. Buildings on a local list enjoy no statutory protection, but the compilation of the list by the Local Planning Authority provides a means whereby attention can be drawn to the particular character or importance of a building.

2.0 When do I need to apply for Planning Permission?

2.1 General controls within the conservation area

The Town & Country Planning (General Permitted Development) Order 1995 (as amended) allows owners of houses to carry out certain types of alterations and modest building work to their homes without the need to apply to the Council for planning permission. Permitted Development rights only apply to houses that have not been subdivided. **They do not apply to flats, maisonettes or multiple-occupancy properties where planning permission is required for all external alterations and additions.**

Within a Conservation Area, the type of work allowed under Permitted Development is more limited, and there are greater restrictions over the amount a house can be extended or how much demolition can be carried out without planning permission. All properties located within the Queens Park Conservation Area require planning permission for the following works:

- To build any extension to the side of your house.
- Applying stone, artificial stone, pebble dash, render, timber, plastic or tiles to any part of the exterior of your house.
- Build any first floor extension.
- Extending the roof of your house.
- Fitting, altering or replacing external flue, chimney, or soil and vent pipe onto a principle or side elevation that fronts a highway. In other locations, it should not exceed the highest part of the roof by one metre.
- Fixing a satellite dish or aerial on a chimney, wall or roof slope which faces onto and is visible from a road.

Please refer to the councils website for guidance on current Permitted Development allowances.



In Queen's Park Conservation Area if you live in a house, in addition to standard Conservation Area planning controls, the Article 4(1) and 4(2) Directions remove the following permitted development rights. **You cannot undertake the following work without Planning Permission:**

- Extend, alter or improve any part of your property that is visible from the street. This may affect the side and rear of corner properties. In the Article 4 (1) Direction Area you need permission to build, alter or improve the side of your property regardless of location. You also require permission for all first floor building extensions.
- Build or enclose any porch that faces the street.
- Make any alteration or enlargement to the roof. This includes putting in roof-lights or dormers. You will need permission to change slates or tiles visible from the street. In the Article 4(1) area this applies to all roof slates and tiles.
- Build any building, enclosure or pool in front or side gardens. This also applies to rear gardens of end-of-terrace properties or any property where the rear garden shares a boundary with the street. You will also need Planning Permission to alter any existing building in these locations.
- Lay any new hard surface at the front of your house. With end-of terrace-properties or any property where the rear garden shares a boundary with the street, all hard services need planning permission
- Remove, replace or alter windows and doors which are visible from the street. You would also need permission to put a new window or door opening into an existing front wall.
- Build, alter or remove gates, fences, walls or other types of boundary to front gardens or any other boundary with the street.
- Change the paint colour of windows or doors which are visible from the street.



- Paint over render or brickwork or apply render to existing brickwork in areas visible from the street. In the Article 4(1) area this applies to all external walls unless you are applying British Standard white or off-white to existing rendered surfaces.
- Fix a satellite dish or aerial to any part of your house that is visible from the street.
- Demolish or make alteration to a chimney.

3.0 Extending and altering your home

Most houses in Queen's Park are large, but usually well placed in a tight, but composed, plot. This means that in most cases over large extensions will not be acceptable. The Queen's Park Conservation Area benefits from a consistent character and all alterations to homes within the area must maintain that consistent quality. Above all, for a proposal to be acceptable, it must either preserve or preferably enhance the character of the area. **You will need Planning Permission for many types of extension and alteration in Queen's Park.** You should consider the following points before submitting your application:

- Will your proposed changes add to, or detract from, the enjoyment of the whole area by you, your neighbours and visitors?
- How will the extension affect the overall shape of the house? The extension should not dominate the existing building or street scene.
- Will the extension make the building too big in relation to the plot size? The extension should not spoil the original yard/garden setting and should be subsidiary to the original house.

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- Usually the extension should continue in the style of the original house. However, the Planning Service may consider a high quality imaginative, but contextual, contemporary design.
- Does the proportion of the extension, position of openings, and roof pitch refer to the character of the area? All door and window openings on the extension must be the same or complement the proportions of those on the original house.
- New window frames and doors for new extensions should complement the character of the original house. Originally windows and doors for the houses in Queens Park were manufactured using timber. Therefore, the best way to preserve the character of your home is to use timber windows and doors in your new extension. As explained above, replacement of timber windows with PVCu* is not acceptable. It has been found that PVCu is unable to replicate the intricate detail and character of original timber or steel windows.
- Roofs on extensions should complement the roof on the original house. Where possible, matching materials should be used.
- Will the extension affect your neighbours' view or daylight?
- Extensions to the rear should not fill the space between houses. This changes the character of the rear of the houses and has a significant impact on the rear element of your neighbour's house.
- Brick bonds* on new building work should match the original and where possible should tie into the existing brickwork. Eventually, the new brickwork will weather down to blend in with the original.
- You are encouraged to use materials that are environmentally sustainable to construct your extension. In particular, recycled bricks and roofing materials can be cheaper and may match your original materials more easily.
- For properties on the ends of terraces, the Council discourages the infilling of rear gardens with new buildings facing onto side streets.
- Guttering should be incorporated within your property and should not overhang property boundaries.

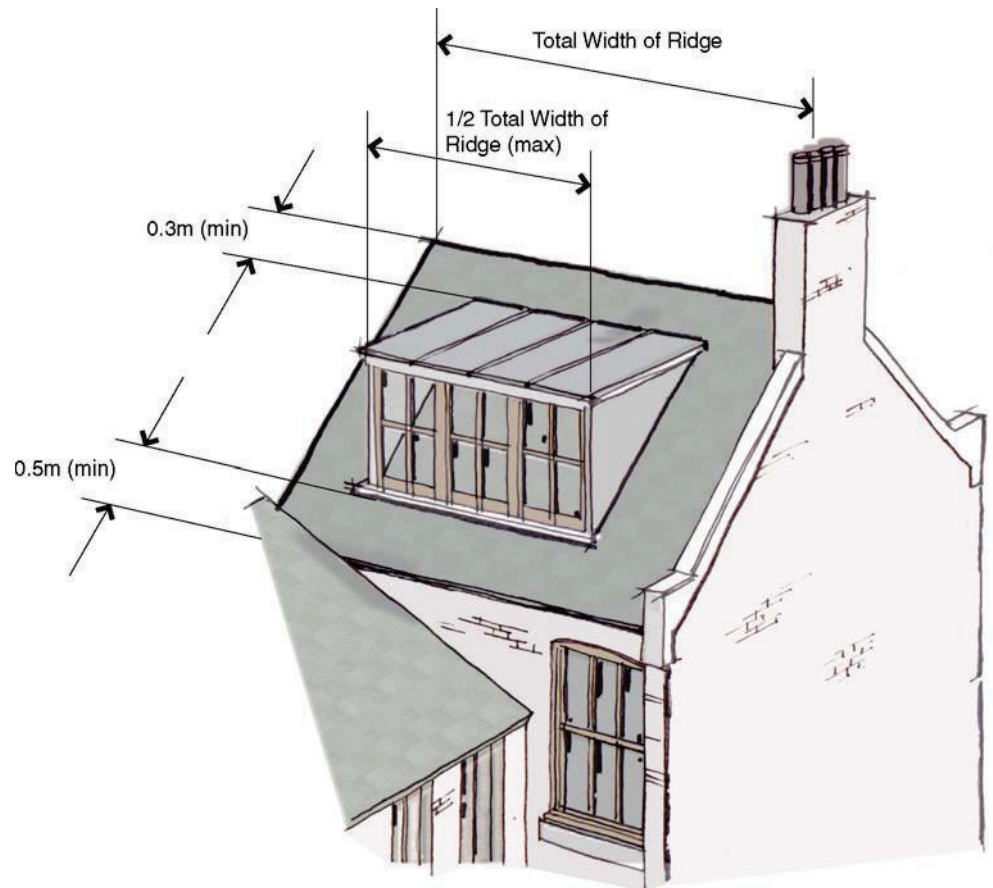
3.1 Dormers, roof-lights and alterations to the roof

Poorly designed alterations to the roof slope will damage the character of Queen's Park. If you do want to put in a dormer window, it should be in keeping with the style and proportions of the existing house and windows and you should use the same construction materials as the original house.

Unless alterations to the roof are carefully designed to comply with the following guidelines, they will not gain planning permission.

- Front dormers are not generally characteristic of the properties in Queen's Park Conservation area and will not normally be permitted.
- Windows in rear dormers should be of the same proportions and style as the original windows below. Rear dormers should be no wider than half the width of the original roof plane. They should be set down at least 0.3 metres from the ridge of the house and set up at least 0.5 metres from the eaves lines of the house. The front face should be predominantly glazed.

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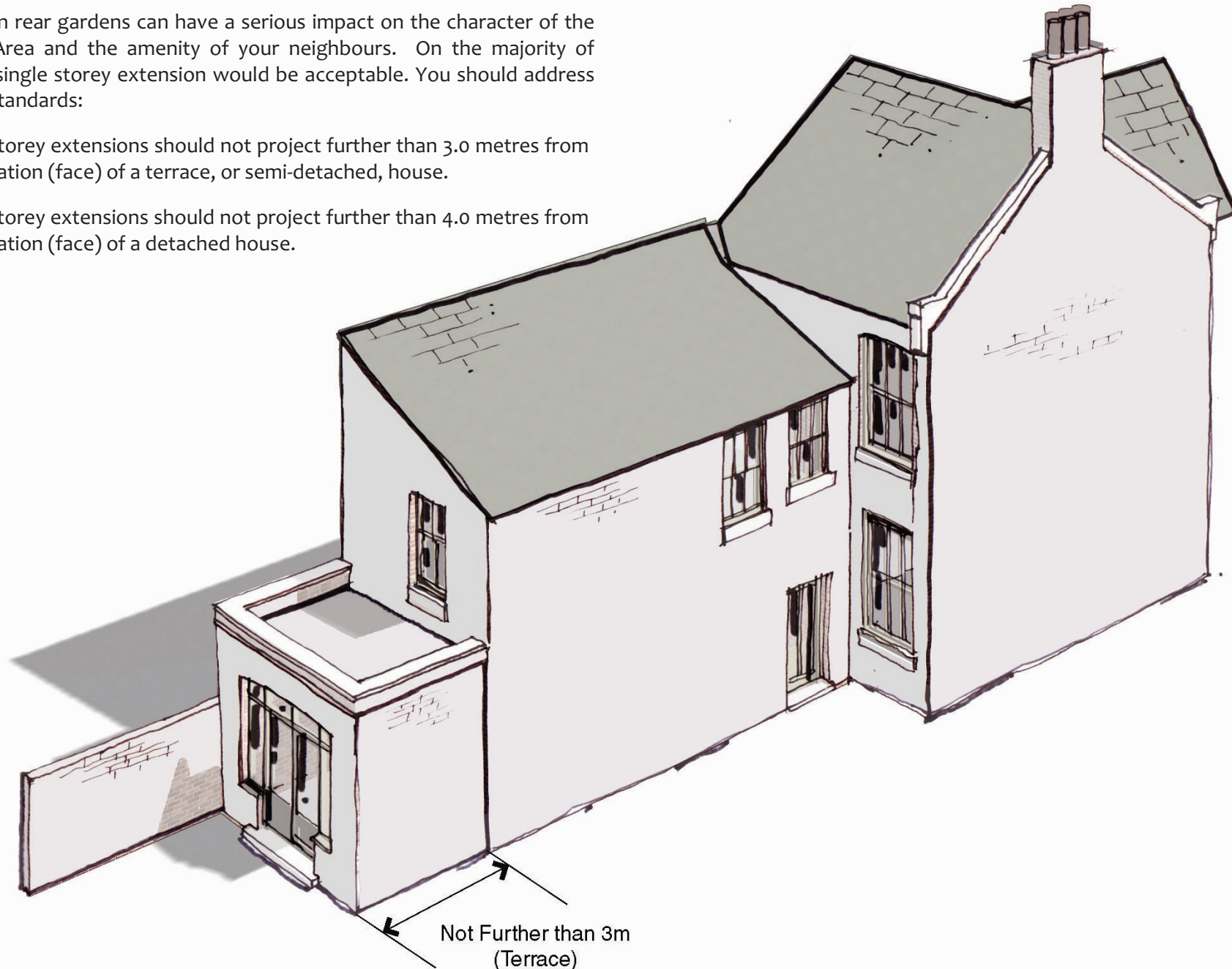


- Roof-lights are not permitted on the front elevation of the house. On the side roof-slope one roof-light may be acceptable unless the property is located on a corner. At the rear of the property, appropriately positioned and sized roof-lights are allowed in place of a dormer. Roof-lights must be set flush within the roof plane and should be kept as small as possible. The Council will only give permission for black metal conservation style roof-lights.

3.2 Rear extensions

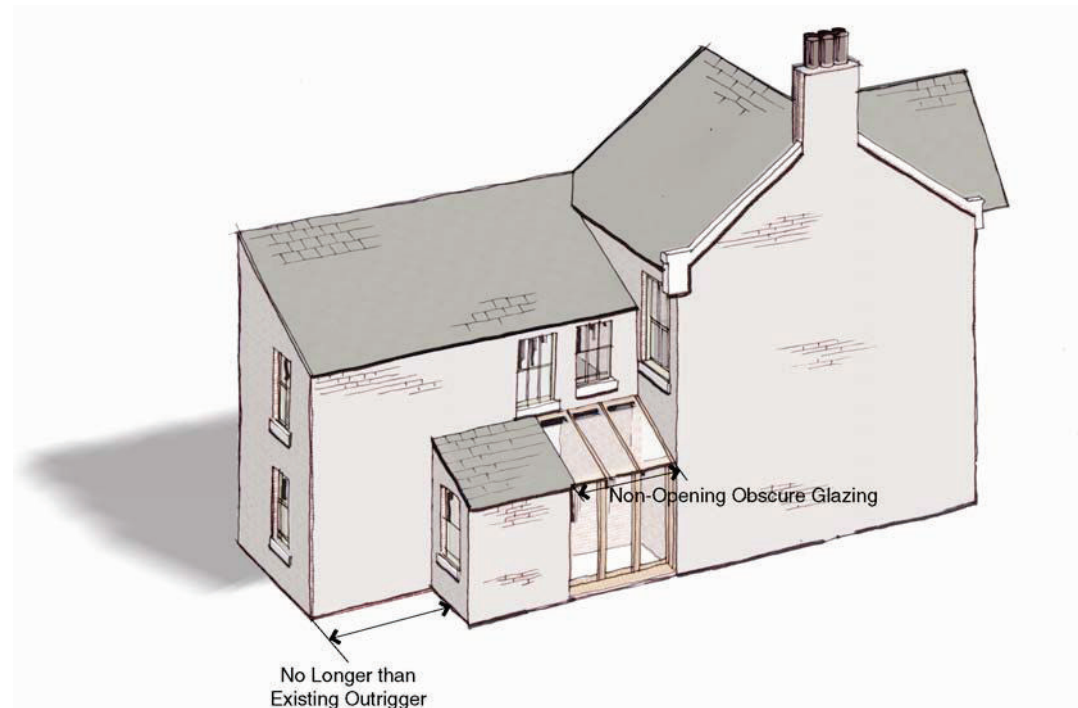
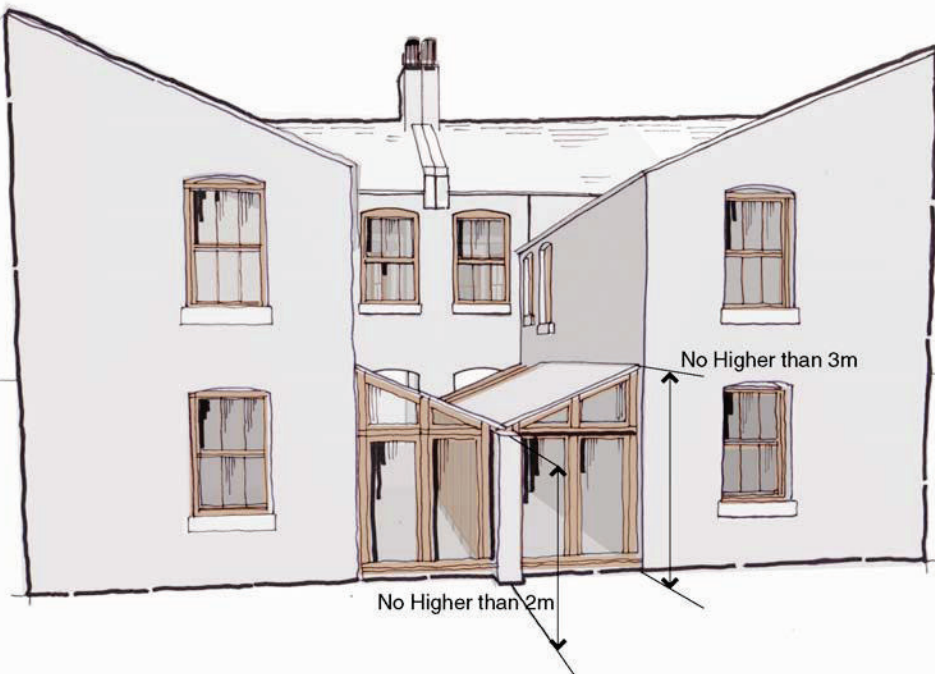
Development in rear gardens can have a serious impact on the character of the Conservation Area and the amenity of your neighbours. On the majority of houses only a single storey extension would be acceptable. You should address the following standards:

- New single storey extensions should not project further than 3.0 metres from the rear elevation (face) of a terrace, or semi-detached, house.
- New single storey extensions should not project further than 4.0 metres from the rear elevation (face) of a detached house.



- Extensions which infill between outriggers* will usually not be acceptable unless a joint application is submitted with your neighbour. In such a case permission will only be granted on the condition that both extensions are constructed at the same time.
- If an extension is proposed independently of the neighbour, it should be designed to have a lightweight roof structure and should also be no higher than 2.0 metres in height on the boundary, when measured from the neighbours side.
- The maximum height of any part of the extension should be 3.0 metres where it meets the main house.

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- The extension should not be any longer than the outrigger to which it is attached.
- The glazed roof may need to be restricted to obscure glass and be non-opening for the first 3 metres from the back of the main house in order to limit light spillage.
- Extensions should not “wrap around” the back of the existing outrigger.

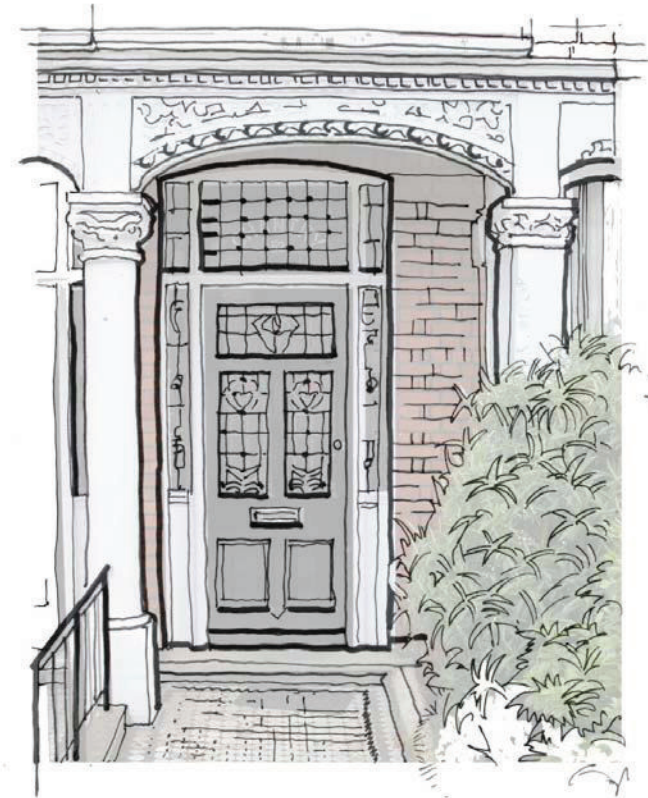
3.3 Side extensions

Side extensions have a direct impact on the character of the original house, the street and the wider area. Few properties in the Queen's Park Conservation Area have the space which will allow the building of a side extension. Where there is space, proposals for new side extensions will be judged on their individual merits.

3.4 Conservatories

In the Queen's Park Conservation Area "off the shelf" PVCu conservatories with mock Victorian features will rarely provide sufficient quality to complement the character of the properties. However, well designed conservatories constructed using traditional materials, such as timber or steel, will be considered on their individual merits. Conservatories must comply with the requirements set out above.

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3.5 Front Doors

It is always best to retain your original front door. The infilling of recessed entrances or porches with extra door sets will not be permitted. If you wish to replace any of these original items, you should ensure that the replacements are detailed to match or complement the originals and that you choose traditional materials.

3.6 Garages

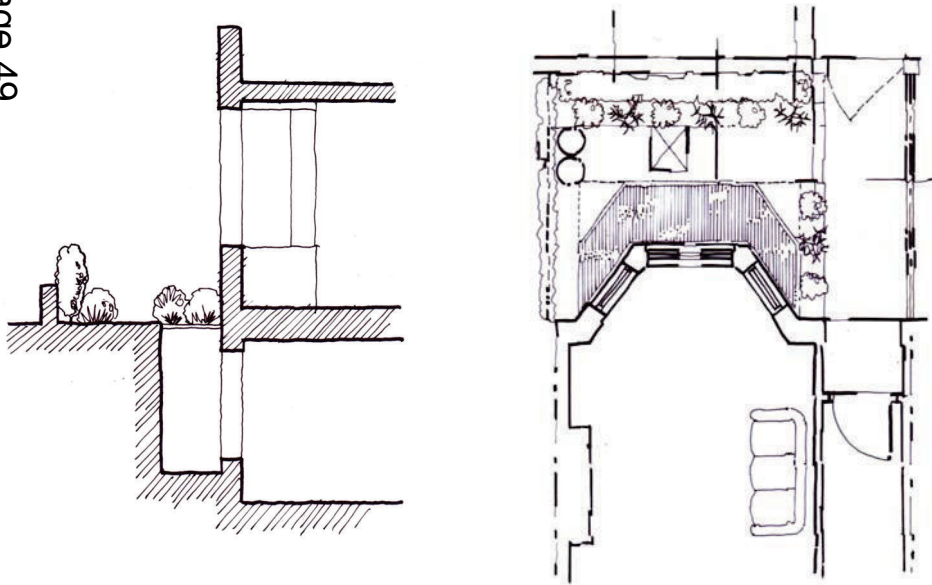
Only a very few houses in Queen's Park have garages. If you want to replace a garage the design must be in keeping with the Conservation Area. Where there is space for a new garage, the appropriateness will be judged on its individual circumstances.

3.7 Basement Extensions

Residents in London are expressing increasing interest in excavating new basements below houses and gardens as a means of increasing their amount of accommodation. The following does not relate to any proposal to create an additional flat in a basement, which would need to comply with a number of additional amenity considerations and which would not normally be allowed.

The visual impact of basements and their light-wells must be kept to a minimum. Light wells should be located to the rear, but where unavoidable new front light-wells should project from the front wall of the house by no more than 800mm or half the length of the front garden, whichever is less. On bay fronted houses the light wells must follow the profile of the bay. Light-wells must be no wider than the bay or windows above. On some properties, especially ones set close to the road, it may not be possible to appropriately accommodate a light well.

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Light-wells should be finished with a horizontal metal grill or flush glazing and not a vertical balustrade. Basement elevations should be designed to complement the elevations above. If front boundary hedges don't currently exist they will need to be planted behind the front wall to reduce impact. The remaining front garden should be re-landscaped in accordance with Section 5 to provide at least 50% soft landscape.

Mature planting and gardens are an important feature of the character of Queen's Park. Consideration must be given to the impact of any below ground structures on the hydrology of gardens and the root structure of existing and future planting. The Council will refuse planning permission for basement developments that will threaten substantial specimen trees.

3.8 Window repair and replacement

Please repair original windows and doors wherever possible. This will be cheaper than replacing them and will make sure you keep the character of your house. If leaded lights have been damaged, it is surprisingly inexpensive to have them restored to their original condition. Rotten areas of sills*, jambs* and sashes* can be cut out and replaced with new timber cut to the same size and shape. This is a fairly quick and inexpensive way to repair your windows and doors. Please call the Planning Service for advice on the best techniques for this type of repair.

If you do need to replace doors or windows then, ideally, you should copy the original exactly as it is unlikely that you will find standard off-the-shelf replacement frames that will give a close enough match to your original windows. A good carpenter will be able to make a replacement using the original window or door as a pattern so that no detailing is lost. Poor window replacement can have the single most negative impact on the character of the Conservation Area.



If you want the replacements to be double-glazed, you need to take extra care to ensure they still look like the originals. This is absolutely critical. New double glazed timber windows can usually be made to match. However, where original windows have decorative glazing bars or leaded lights it may not be possible to replicate the details faithfully. As an alternative, carefully fitted secondary glazing will not spoil the appearance of your home and will allow you to retain your original windows.

Most of the original windows in the area have either casement or sliding sash opening lights. Please do not substitute one style for another. Refit windows in their original position. Windows should be set back into their original position within the depth of the reveal*. Please do not change the original size of the window opening.

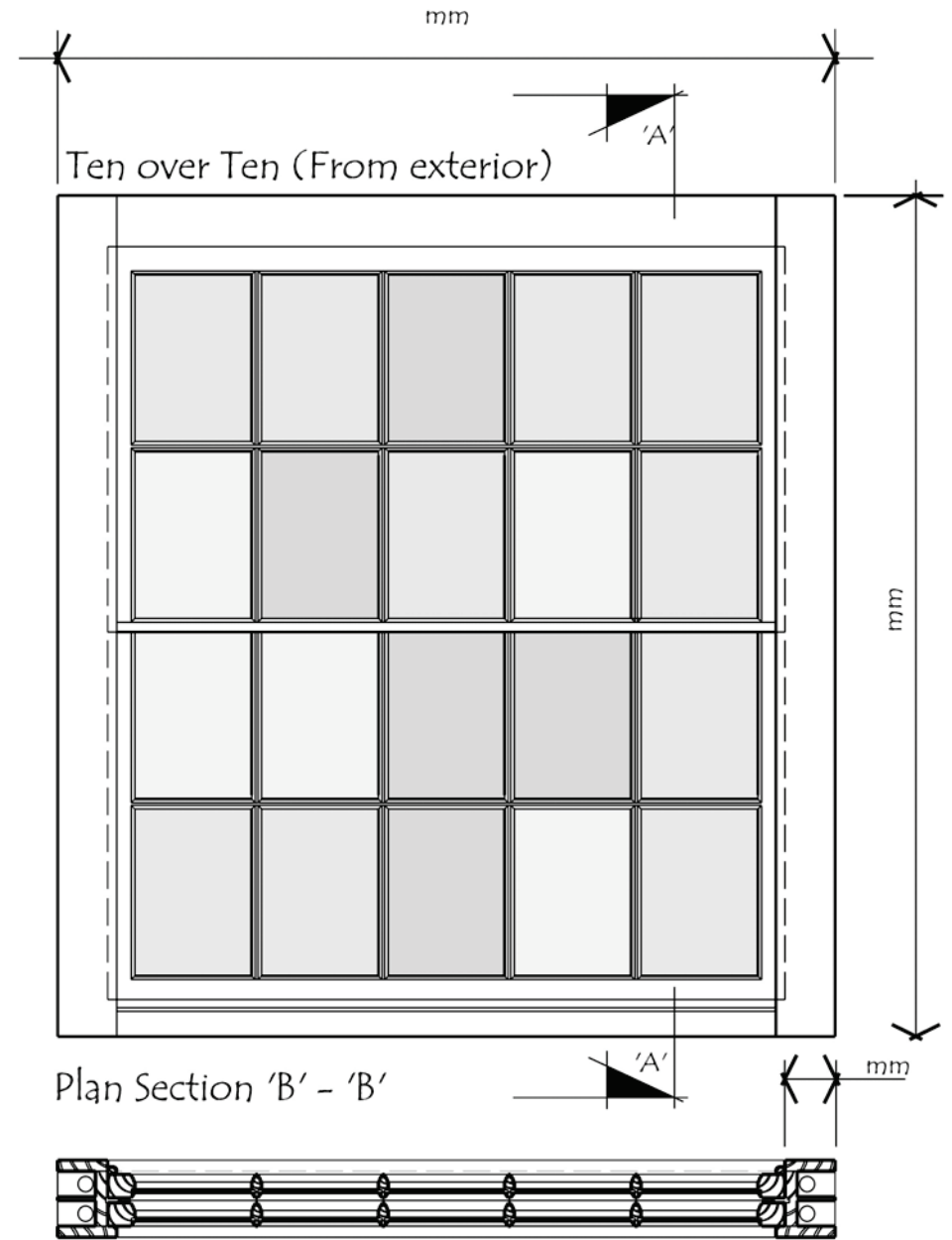
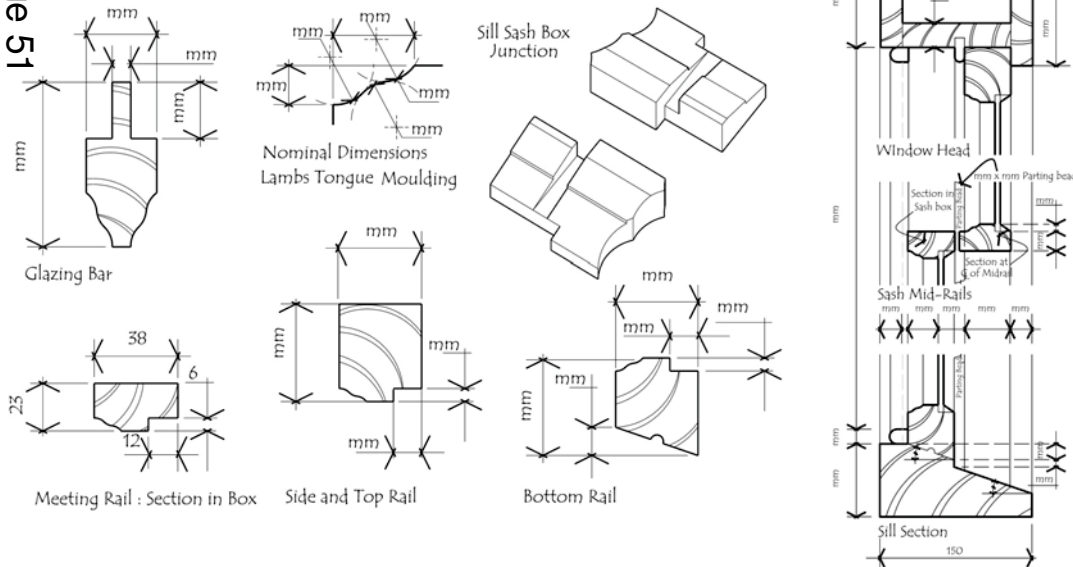
Replacement of timber windows with PVCu* is not acceptable. It has been found that PVCu is unable to replicate the intricate detail and character of original timber or steel windows. Also the Council discourages PVCu as its manufacturing process is highly polluting and it is difficult to dispose of.



When submitting a planning application for replacement window, the following information will be required:

- All window elevations to be replaced at a scale of 1:10 or with all dimensions clearly annotated
- Property elevations or photographs of the whole of the property, with the windows to be replaced numbered to correspond with window elevations
- A cross-section at a scale of 1:5 or preferably full size through the transom* showing the relationship of fixed and opening lights and drip rails*, with full size details of any glazing bars* or leaded lights* which must be mounted externally

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Although the Queen's Park Conservation Area is predominantly characterised by attractive Edwardian/Victorian terraced dwellings there are also a number of short terraces dispersed throughout the area which comprise of more modern dwellings which were erected to replace bomb damaged properties after the second world war. Whilst these post-war dwellings may not be considered to contribute as greatly to the character and appearance of the area they do follow a certain pattern and the relative simplicity and consistency of their facades is considered sympathetic to the buildings of greater architectural or historical interest in the surrounding area.



One of the key original features which underpins the facade of these post-war properties would have been the steel framed Crittall windows. Unfortunately, over past years a number of the original Crittall windows to these properties have been replaced using windows of an inappropriate and unsympathetic style which in some cases has detrimentally degraded the group value of the properties within the terrace.

This guidance adopts the following approach to planning applications for the replacement of windows to post-war properties:

a) Where all of the properties within the terrace have had their original windows replaced in a variety of styles and materials the Council will seek to approve replacements to a consistent design, and using aluminium frames, in order to better reflect the proportions and appearance of the original windows. Replacements will not be permitted to include a 'picture' window element.



b) Where some of the properties within the terrace contain a mixture of replacement styles and materials, but some properties have the original windows (or have replacements which reflect the original design) the Council will adopt a variation of a) based on not supporting the removal of appropriate or original windows

c) Where all or most windows within the terrace are original, or are reasonably designed replacements, the Council will seek the installation of windows of the original design

4.0 General repairs & other modifications to your home

There are many reasons why people want to make changes to their home. Repairs and alterations may be necessary due to weathering, families may need more space and new owners may wish to personalise their home.

Living in a Conservation Area does not mean that you cannot make alterations to your home but it does mean that the changes that you may wish to make must preserve or enhance the character and appearance of your home and the area.

The houses in Queen's Park Conservation Area were built to a variety of designs. However, they all blend together because similar building materials, similar overall sizes and architectural details were used. Also, many streets and short runs of houses were built to consistent designs. This unity of design gives the area its unique character. Alterations to an individual building may affect the whole street scene if they are not in keeping. The more inconsistent the alterations, the more negatively the area may be affected.



Some properties were altered before the strict controls of the Article 4 Directions were put in place. Where this has happened, we encourage residents to restore the original appearance of their property. In time, the character of the area will be enhanced and the desirability and value of individual homes is likely to increase.

You can avoid costly repairs by regular maintenance. For example, you should clear blocked gutters, repaint woodwork regularly and refit roof tiles or slates when they become loose. It will be much more expensive to carry out repairs if you leave problems to get worse. However, where repairs are needed, it is important to use the right materials and methods. **You may need planning permission to carry out some types of repairs (see section 2.1).** It is always recommended that you contact Planning & Development prior to commencing any work on your property for advice on whether planning permission is required. In the following section you will find some advice to help you carry out repairs to your home.



4.1 Decorative features and details

The original designers and builders working at Queen's Park paid great attention to the architectural details and decorations of the houses. There is quite a variety of embellishment to be seen. These include: console brackets*, string courses*, decorative mouldings, terracotta details*, stained and leaded glass, carved timber work, roof tiles, ridge tiles, finials, chimney pots, bricks, cast iron railings and balconies, stone window sills, stone cornices and projecting eaves. It is essential to retain all original decorative features if you want to preserve the character of your house. Once lost, original details are rarely replaced. Removal of building detail can spoil the appearance of individual buildings as it is often the quality of the decorative features of the individual houses that add to their value. Removal of these individual features will eventually damage the whole street scene. If decorative features on your house are beyond repair, specialists will be able to make an exact replica or a building materials salvage supplier may be able to trace an original replacement. Houses with original architectural detailing will usually have a better resale potential.

Page 55 4.2 Repairing and re-pointing brickwork

Where bricks have spalled*, chipped or decayed, they should be cut out and replaced with bricks of the same size texture and colour. The brick bond* should also be matched exactly. You can either use second hand bricks from building salvage suppliers or try a specialist brick manufacturer or supplier. The houses in the area were built using Imperial* size bricks, which are not difficult to find; they can be obtained new and second-hand. It is in your interest to carry out re-pointing to the highest standards. Poor re-pointing work can make the brickwork decay more quickly.

Generally loose and decayed mortar should be raked out by hand using a hammer and chisel. Do not use grinders. Apply new mortar to the open brick joints with a suitable pointing trowel. The mortar should match the colour and texture of the original. Generally, we recommend that you use a lime based mortar. Take care not to let mortar spread over the faces of the bricks. To help you obtain the highest standards the Planning Service can give advice to you and your builders.



4.3 Roughcast and render

Do not remove roughcast* or render from walls unless you have to do so for repair, in which case you should replace it. Take care to match the existing colours and texture. You will need to find out the composition of the roughcast or render before you can choose the right material for repair. The Planning Service will be able to advise you. Where possible, rendered surfaces should be left natural and not painted.

4.4 Repainting and other wall coverings

Do not paint original brickwork or cover it with artificial finishes such as stone cladding. In the past the original brickwork on some buildings has been covered over with paint and other coverings. If architectural details are covered over, this can spoil the appearance of your property and may trap moisture and cause serious damage to walls. It is usually possible to remove paint. Please call the Planning Service for advice on how to remove paint and clean the brickwork of your house.

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Painting windows, doors and other woodwork can help preserve these original features. Colours should be traditional and in keeping with the Victorian and Edwardian character. There are a number of colours that will preserve the character of the area. Please call the Planning Service for extra guidance. Normally it is darker, sober colours that are acceptable for doors, whilst window frames are normally white. The Council will not give Planning Permission for garish or bold colours that stand out and break the uniformity of the street scene.

4.5 Roofs

Most pitched roofs in the area are covered in slate tiles. Problems that arise are often due to rusting fixing nails or rotting wooden battens rather than the slates themselves. If you need to carry out repairs, it is usually possible to re-use between thirty to fifty percent of original slates. However, if replacement is necessary, care must be taken to match the colour, texture, size and materials of the originals, as slates and clay tiles come in many shapes and sizes.

Most ridges are finished with crested terracotta roof tiles and topped with finials where the ridges meet gables or form apices. These should be maintained and restored. Where Building Regulations require that the roof space should be ventilated, the traditional method is to ventilate from under the eaves and at the ridge, do not use off-the-shelf plastic ventilator tiles.

The replacement of the front gable of the property with glazing will not be allowed. It might be possible to replace a small section of the gable with glass, but you should speak to the Planning Service before undertaking any works.



4.6 Chimneys

There are many different styles of chimney in the Queens Park Conservation Area. In some cases they were built using decorative bricks and they are an important part of the character of the area and must not be taken down or altered. Please keep your chimney in good repair. A chimney helps ventilate your house and if you need a new flue for a new central heating system it can be run inside the existing chimney.

4.7 Gutters and drainpipes

It is essential to keep your gutters and drainpipes in good repair because leaks can cause damp problems in walls, which may cause expensive problems inside your home. The original gutters and drainpipes in the Conservation Area were cast iron. If you need to replace your gutters and drainpipes you may be able to use painted cast aluminium, which can look similar to Cast iron. Check that it matches the original and paint it either black or another dark colour to match your paintwork. If you have to install new rainwater goods, please retain decorative cast iron hopper heads



4.8 Satellite dishes and aerials

Satellite dishes and aerials must be fixed to the back of houses. Do not place them where they can be seen from the street, on the chimney, or on your roof, where they will not receive planning permission. Please contact the Planning Service for advice on more appropriate options. Most roads in Queen's Park now have the benefit of being set up for cable television and this must be given serious consideration as an alternative which does not require the installation of a satellite dish.

4.9 Gas, electricity and water services boxes and burglar alarms

Please keep existing traditional boxes if you can. Position modern gas, electricity and water meter boxes so they are not too noticeable and please paint them a dark colour. Try to make them blend in with the background. Burglar alarms should also be painted a dark colour and located in a position that enables them to be a deterrent, but does not dominate the front elevation of your home.

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4.10 Solar panels and environmental installations

The Council encourages environmental improvements, but also recognises that many installations are not appropriate for conservation. It is always best to install environmental technology that does not impact on the character of the Conservation Area such as additional thermal insulation, secondary glazing and ground source heat pumps. Solar panels should not protrude more than 200mm beyond the plane of the roof. To achieve this, many manufactures provide an in-roof system where the panels are recessed flush with the roof tiles. Furthermore, panels should not be sited on the front or side elevation or roof slope or be visible from the highway. On flat roofed outriggers a low traditional parapet should be built to mask panels.

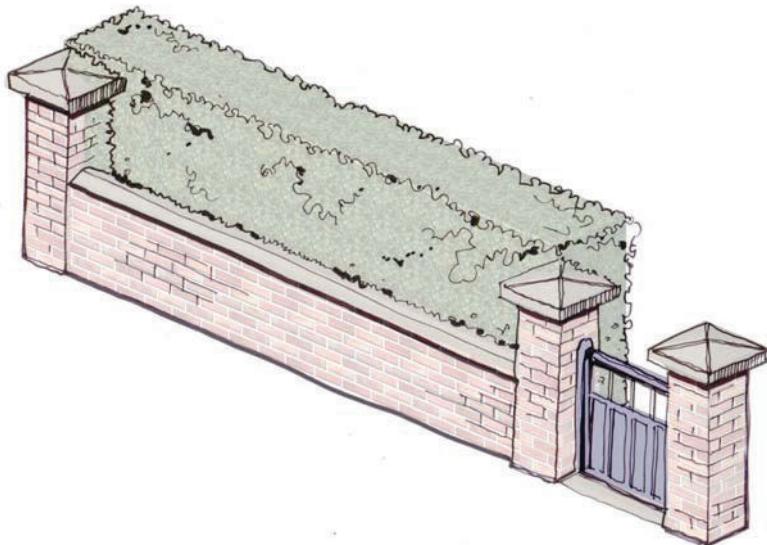
5.0 Gardens

Gardens are as important to the character of Queen's Park as the houses. In addition to their aesthetic and environmental value, plants can provide privacy and security. The Council will always recommend the planting of hedges in place of tall walls.

5.1 Front Gardens, Walls and Boundaries

The original front gardens are a distinctive feature of Queen's Park Conservation Area. Sadly, many of them have been paved over in recent years and boundary walls, hedges and fences removed. Front gardens that have planted with soft landscaping features enhance the appearance of your property and the Conservation Area. The removal of garden walls and hedges and the formation of hard surfaces will only be permitted where they form part of an acceptable off-street parking scheme (see section 5.2).

Where they have been lost, the Council will encourage traditional front boundary walls to be replaced. Walls should be built to match the street scene, including matching materials. Most walls are of the same brick as those of the house. The maximum height of a front wall is around 10 brick courses, although many are lower.



Hedges play an important role by adding to the character and setting of the dwellings. These privet hedgerows typically trimmed to a height of 1.2-1.5 metres serve to define boundaries and identify access points. The removal of hedges would drastically alter the natural/urban balance within Queen's Park. Where possible you should retain the hedges that you have as this is the best way to preserve the character of Queen's Park.

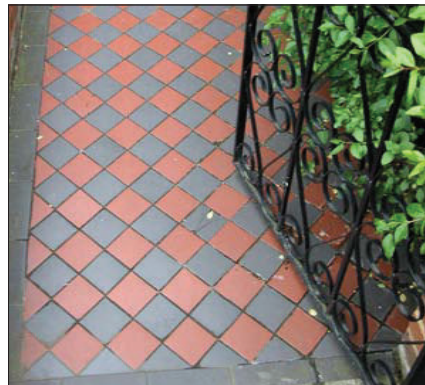
5.2 Off-street parking

Most front gardens in the Queen's Park Conservation Area are not deep enough to accommodate a parking space. If there is room you should ensure that you keep as much of your front garden as possible. In exceptional circumstances the Council may grant permission for an off-street parking space where at least 50% of the total front garden area will be retained and suitably landscaped with soft planting features. However, you should seek to avoid the demolition of front boundary walls or the removal of landscaping. There are limitations on the creation of a vehicular crossover and you should discuss this with the Council's Transportation Service.

Planning Permission for off-street parking spaces will also be subject to assessment by the Council's Transportation Unit. Further guidance on the Council's standards for off-street parking can be found on the councils website.

5.3 Front paths

There are a number of different approaches to the design of paths in Queen's Park, including stone pavers, small quarry tiles* (laid to decorative tessellated patterns) and terrazzo* (with contrasting border patterns). You should always try to preserve these important elements as they help to define character. It is possible to repair these paving systems and salvaged or new materials can be sourced. Where they have been lost, the Council will encourage traditional paths be replaced. Please contact the Planning Service to discuss appropriate options. **You will need Planning Permission to change your front path.**



5.4 Trees

One of the valuable assets of the Conservation Area is mature tree buffers at the end of many rear gardens. These trees and others add to the character of Queen's Park and help make it special. The loss or damage of existing trees and significant soft landscape features to allow new buildings or landscaping will be discouraged.

All trees in Queen's Park Conservation Area that have a trunk diameter exceeding 75mm at a height of 1.5 metres are protected. **You will need permission to carry out even the most minor of work to a tree.** In a Conservation Area it is necessary to give 6 weeks written notice to the Planning Service before removing or lopping a tree to ensure that it is acceptable. It is always best to contact Planning & Development for advice on the best way to protect the trees in your garden. Contact details can be found on the councils website.

5.5 Ramps for People with Disabilities

Access ramps may be necessary for some residents. However, please choose a design and use materials that are in keeping with the area. You can soften the outline of a ramp with planting. Any brickwork should match the bricks used for the house and handrails are best painted a dark colour. Please check with the Planning Service who will be glad to offer advice on the design of ramps.

5.5 Garden buildings

If your property is a house you can build some types of garden building in your rear garden without Planning Permission using Permitted Development rights. However, permitted development rights do have limitations and you may still need planning permission.

As explained above, these rights are not enjoyed by flats, subdivided houses and multiple-occupancy properties. It is recommended that you check with the Planning Service whether planning permission is required prior to constructing any building.

The Council continues to believe that the erection of these, often large, outbuildings in rear gardens can have a detrimental impact on the character and appearance of an area. However, in October 2008, Central Government relaxed the rules relating to them, so that there is no longer any distinction between what is, and what is not, possible inside and outside Conservation Areas.

However, the Council believes that it is important to minimise impact where possible. If you want to erect a building larger than permitted development, or you live in a property that does not enjoy Permitted Development rights, then you will have to apply for Planning Permission. The Council will seek to ensure that new buildings or structures within rear gardens of Conservation Areas preserve or enhance the character or appearance of the area. Please refer to the design advice set out in section 4.0. Subject to this, the following will be used by the Planning Service to guide its assessment of the acceptability of such proposals:

- In gardens of between 10 and 25 metres in length, the general maximum size of individual buildings should be no greater in plan (footprint) than $\frac{1}{5}$ (20%) of the overall length and $\frac{1}{2}$ (50%) of the width of the garden. The buildings should be located in the rear $\frac{1}{4}$ (25%) of the garden and should have a maximum footprint of 15m^2 . Buildings of this size will normally be required to be set away from joint boundaries by at least 1m to reduce their impact, promote further landscape development and allow future maintenance without having to enter your neighbour's garden.
- New buildings within gardens of longer than 25m will be assessed on their individual merits. However, it is likely that they will have to comply with the building proportions described above.

- New buildings in gardens of less than 10 metres in length will be judged on their individual circumstances. However, if acceptable, they will normally need to be much smaller than the maximum guidance above. New buildings in smaller gardens of less than 10m may also unacceptably reduce the size of your garden or prevent the future extension of your property.
- If you wish to position your building within the first $\frac{3}{4}$ (75%) of your garden the Council will assess your application on its individual merits. However, it is likely that a building in this location will have to be significantly smaller than the proportions of buildings described above. Where your garden abuts a neighbour's garden you may have to reduce the size and scale of your proposed building to reduce the impact on the neighbouring garden and views out of your neighbour's property.
- Existing trees and significant soft landscape features should not be removed or damaged to allow new buildings. However, if the condition of a tree suggests its removal or pruning, you are required to give six weeks notice to the Council. You can get specialist advice from the Planning Service's Landscape Design Team.



6.0 Getting permission

Whether you need permission depends on what you want to do. However, in many cases you will need the permission of the Council before you make any changes to the outside appearance of your house. You may be liable to enforcement action if you carry out work without permission.

Living in a Conservation Area does not mean that you cannot make alterations to your home, but it does mean that the changes that you may wish to make must preserve or enhance the character or appearance of your home and the area.

It is very important to remember that the Article 4 Direction planning controls placed on the Conservation Area by the Council are legally binding. In addition to standard planning controls, you must apply for Planning Permission for any of the work listed in Section 2.4. It is always best to call the Planning Service to find out whether you need to make an application. The Council can take enforcement action against you if you carry out work without permission. You may be required to undo the work and reinstate original details at your own expense.

6.1 Planning Permission

You should check with the Planning Service to find out if you need Planning Permission. In many cases you will need Planning Permission to do work which outside the Conservation Area would not need permission. This is because the area is covered by Article 4 Directions.

6.2 Conservation Area Consent

Conservation Area Consent is designed to prevent the demolition of any structure over 115 cubic metres that contributes to the character of the area. You may need Conservation Area Consent if you want to demolish a building. Please check beforehand with the Planning Service.



6.3 Tree Preservation Orders

In Conservation Areas it is necessary to give 6 weeks written notice to the Planning Service before removing or lopping a tree that has a trunk diameter exceeding 75mm at a height of 1.5 metres. In the written notice you should include a description of the tree, its location, what work you intend to do and why. Some trees may also have Tree Preservation Order, so it is always best to contact the Planning Service's Design Team first for advice.

6.4 Building Regulations Approval

You will need Building Regulations Approval for most alterations and extensions. You will need to check with the Council's Building Control department before you start the work. Please remember that you may need Planning Permission even if you do not require Building Regulations Approval and you may require Building Regulation Approval even if you do not require Planning Permission.

6.5 How to apply

You will need to fill in an application form for the relevant permission and provide drawings of your house as it exists and how it will look when work is completed. The clearer your drawings the quicker your application can be processed. We recommend that a qualified Architect or similarly skilled professional do the drawings for you. All planning applications within a Conservation Area are required to be accompanied by a Design and Access Statement. Please refer to the councils website for further guidance on submitting a planning application.

The Planning Service aims to determine minor planning applications within 8 weeks. It is likely that permission will be subject to providing additional information, such as material samples, before you are allowed to start construction work. If you are proposing a contemporary building or alteration that is not traditionally detailed, you will need to submit additional information at the same time as your application. These may include material samples, large scale details, computer models, perspectives and photo montages. Please ask the Planning Service which information they require.



6.6 Specialist Help

To make repairs and alterations that preserve or restore the character of your property, you may need to ask specialist suppliers and craftsmen for help. Some of the materials and skills you will need may no longer be in common use and may take time to find. Please check with the Council's Planning Service if you are in any doubt. They will be pleased to give you advice on where to look for specialist help. They can make sure that the work you or your builder proposes to do is the best way to retain the character of your home.

The houses of Queen's Park were built to a very high standard. Original doors, windows and other features rarely need to be replaced if properly maintained. In many cases doors and windows have survived for over 100 years and with some careful repair can last for many years longer. We will always encourage you to repair rather than replace original features wherever possible. Of the two, repair is often a less expensive option.

Specialist services and supplies are sometimes more costly than the mass-market, ready-made alternatives, but not always. In most circumstances **specialist help need not cost more**. However, when it does, many residents view the extra expense as an investment. If you preserve or restore the original appearance of your house, this can help to maintain or even increase its value.



8.0 Technical Terms

Brick bond: Arrangement of bricks in a wall, combining bricks laid lengthways (stretchers) and bricks laid widthways (headers).

Case ment Window: Made up of a frame with a smaller sub frame, called a case-ment, set within which is fixed with hinges at the top or sides to allow it to swing open.

Console bracket: A decorative wall bracket which supports a bay window, part of a roof or other feature that projects out from the house.

Drip Rails: A sill like section mounted above the opening casements of windows to shed water away from the opening when it is opened.

Dentils: Bricks set at interval to produce a decorative band.

Eaves: The junction of the wall and the lower edge of the roof.

Glazing bars: The bars of wood or metal which separate individual glass panes in a window.

Half-timbering: Often called 'timber framing', this means timbers applied vertically or horizontally to the walls of houses as a decorative feature.

Imperial bricks: The bricks used to build the Homestead Park houses, which are larger than today's metric sized bricks.

Jamb s: The side sections of a door or window frame.

Leaded light: A window made of small pieces of glass joined by strips of lead.

Parapet: A section of a wall that projects above the eaves of a flat roof.

PVCu: Unplasticised Poly Vinyl Chloride.

Quarry Tiles: Small natural clay square tiles.

Roughcast: Rendered wall finish with small stones added to the mixture.

Reveal: The part of a wall that turns back towards the window frame in its opening.

Sill: The bottom section of a window frame that projects out from the wall to allow rain to run away.

Spalled bricks: Bricks that have lost their front faces through frost damage.

String course: A projecting band of brickwork.

Terracotta details: Specially shaped and moulded bricks used as decorative features.

Terrazzo: A mix of coloured stone fragments and cement which is poured on site, left to set and then machined to a polished finish. This creates the effect is of a continuous sheet of multicoloured stone.



